



# NOTICE OF PUBLIC EVENT

**Tuesday, June 28, 2016  
5:30 p.m.  
Wylie Municipal Complex  
300 Country Club Road, Building #100**

## **EXPLANATION!**

**A RECEPTION FOR OUTGOING BOARD AND COMMISSION MEMBERS  
WILL TAKE PLACE PRIOR TO THE CITY COUNCIL MEETING.**

**A QUORUM OF THE CITY COUNCIL MAY OR MAY NOT BE PRESENT, NO  
ACTION WILL BE TAKEN DURING THIS RECEPTION.**



# Wylie City Council

## NOTICE OF MEETING

### Regular Meeting Agenda June 28, 2016 – 6:00 pm Wylie Municipal Complex Council Chambers/Council Conference Room 300 Country Club Road, Building #100

Eric Hogue .....	Mayor
Keith Stephens .....	Mayor Pro Tem
Diane Culver .....	Place 2
Jeff Forrester .....	Place 3
Candy Arrington .....	Place 4
William Whitney III .....	Place 5
David Dahl .....	Place 6
Mindy Manson.....	City Manager
Richard Abernathy .....	City Attorney
Carole Ehrlich .....	City Secretary

*In accordance with Section 551.042 of the Texas Government Code, this agenda has been posted at the Wylie Municipal Complex, distributed to the appropriate news media, and posted on the City website: [www.wylietexas.gov](http://www.wylietexas.gov) within the required time frame. As a courtesy, the entire Agenda Packet has also been posted on the City of Wylie website: [www.wylietexas.gov](http://www.wylietexas.gov).*

*The Mayor and City Council request that all cell phones and pagers be turned off or set to vibrate. Members of the audience are requested to step outside the Council Chambers to respond to a page or to conduct a phone conversation.*

*The Wylie Municipal Complex is wheelchair accessible. Sign interpretation or other special assistance for disabled attendees must be requested 48 hours in advance by contacting the City Secretary's Office at 972.516.6020.*

*Hearing impaired devices are available from the City Secretary prior to each meeting.*

### CALL TO ORDER

*Announce the presence of a Quorum*

### INVOCATION & PLEDGE OF ALLEGIANCE

### PRESENTATIONS

- **Presentations for Outgoing Wylie Boards and Commission Members. Oath of Office for Incoming Wylie Boards and Commission Members**
- **Employee Milestone Anniversaries – (L. Fagerstrom, Human Resources Manager)**

- **Proclamation of Parks and Recreation Month.** (*R. Diaz, Parks and Recreation Superintendent*)
- **Presentation of the TAMI Award for Best Website in the State of Texas** (*C. Kelly, Public Information Officer*)

#### CITIZENS COMMENTS ON NON-AGENDA ITEMS

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*Residents may address Council regarding an item that is not listed on the Agenda. Residents must fill out a non-agenda form prior to the meeting in order to speak. Council requests that comments be limited to three (3) minutes. In addition, Council is not allowed to converse, deliberate or take action on any matter presented during citizen participation.*

#### CONSENT AGENDA

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*All matters listed under the Consent Agenda are considered to be routine by the City Council and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.*

- A. Consider, and act upon, approval of the Minutes of June 14, 2016 Regular Meeting of the Wylie City Council.** (*C. Ehrlich, City Secretary*)
- B. Consider, and act upon, approval of a Preliminary Plat for Inspiration, Phase 3 & 4 consisting of 107.629 acres to establish single family residential lots for a master planned development within Wylie's ETJ, generally located north of Parker Road (F.M. 2414) and east of Aztec Trail.** (*R. Ollie, Development Services Director*)
- C. Consider, and place on file, the City of Wylie Monthly Investment Report for May 31, 2016.** (*L. Bantz, Finance Director*)
- D. Consider, and place on file, the City of Wylie Monthly Revenue and Expenditure Report for May 31, 2016.** (*L. Bantz, Finance Director*)
- E. Consider and place on file, the monthly Revenue and Expenditure Report for the Wylie Economic Development Corporation as of May 31, 2016.** (*S. Satterwhite, WEDC Director*)

#### REGULAR AGENDA

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- 1. Hold a Public Hearing and consider, and act upon amending regulations to Zoning Ordinance 2008-47, Article 6, Section 6.3 Downtown Historic District (DTH) as it relates to design guidelines and standards within the Downtown Historic District. ZC 2016-07** (*R. Ollie, Development Services Director*)

##### Executive Summary

The City Council has declared as a matter of ordinance that the preservation, protection, and use of landmarks and historic districts is a public necessity because they have a special character or a special historic, architectural, aesthetic, or cultural interest and value and thus serve as visible reminders of the history and heritage of the City of Wylie

2. **Consider and act upon approval of Resolution 2016-15(R) authorizing the City Manager to execute an Impact Fee Agreement with Bloomfield Homes, L.P. for the construction of the northbound lanes of Wylie East Drive.** *(C. Holsted, City Engineer)*

**Executive Summary**

When Wylie East High School was built, four lanes of Wylie East Drive were constructed adjacent to the school property and two lanes of the roadway (the southbound side) were constructed north of the school site to SH 78. Wylie East Drive is shown as a secondary thoroughfare (4-lane divided) on the City of Wylie Thoroughfare Plan and the project is included in the Capital Improvements Plan and impact fee calculation

**WORK SESSION**

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- **Presentation of compensation market survey and analysis** *(J. Butters, Asst. City Manager)*

**EXECUTIVE SESSION**

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*Recess into Closed Session in compliance with Section 551.001, et.seq. Texas Government Code, to wit:*

**§§Sec. 551.072. DELIBERATION REGARDING REAL PROPERTY; CLOSED MEETING.**

A governmental body may conduct a closed meeting to deliberate the purchase, exchange, lease, or value of real property if deliberation in an open meeting would have a detrimental effect on its negotiating position.

- **Discussion regarding property generally located near the intersection of Country Club and Brown St.**

**RECONVENE INTO OPEN SESSION**

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**ADJOURNMENT**

If during the course of the meeting covered by this notice, the City Council should determine that a closed or executive meeting or session of the City Council or a consultation with the attorney for the City should be held or is required, then such closed or executive meeting or session or consultation with attorney as authorized by the Texas Open Meetings Act, Texas Government Code § 551.001 et. seq., will be held by the City Council at the date, hour and place given in this notice as the City Council may conveniently meet in such closed or executive meeting or session or consult with the attorney for the City concerning any and all subjects and for any and all purposes permitted by the Act, including, but not limited to, the following sanctions and purposes:

**CERTIFICATION**

*I certify that this Notice of Meeting was posted on June 24, 2016 at 5:00 p.m. as required by law in accordance with Section 551.042 of the Texas Government Code and that the appropriate news media was contacted. As a courtesy, this agenda is also posted on the City of Wylie website: [www.wylietexas.gov](http://www.wylietexas.gov).*



# Wylie City Council

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## Minutes

### City Council Meeting

Tuesday, June 14, 2016 – 6:00 p.m.  
Wylie Municipal Complex – Council Chambers  
300 Country Club Road, Bldg. 100  
Wylie, TX 75098

#### **CALL TO ORDER**

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*Announce the presence of a Quorum.*

Mayor Hogue called the meeting to order at 6:05 p.m. City Secretary Ehrlich took roll call with the following City Council members present: Mayor pro tem Keith Stephens, Councilman David Dahl, Councilwoman Candy Arrington, Councilwoman Diane Culver, and Councilman William Whitney III. Councilman Jeff Forrester was absent. Also present was Junior Mayor Diego Munoz.

Staff present were: City Manager, Mindy Manson; Fire Chief, Brent Parker; Police Chief, Anthony Henderson; Assistant City Manager, Jeff Butters; City Engineer, Chris Holsted; Development Services Director, Renae Ollie; Community Services Director, Mike Sferra; WEDC Executive Director, Sam Satterwhite; City Secretary, Carole Ehrlich; Public Information Officer, Craig Kelly; and various support staff.

#### **INVOCATION & PLEDGE OF ALLEGIANCE**

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Former Mayor William Martin gave the invocation and Former Councilmember Steve Wright led the Pledge of Allegiance.

#### **PRESENTATIONS**

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- **Presentation of Junior Mayor Diego Munoz.** *(E. Hogue, Mayor)*

Mayor Hogue introduced Junior Mayor Diego Munoz. He explained that Groves Elementary auctioned the “Mayor for a Day” and Diego, who will be a 4<sup>th</sup> grader, was the winner. All proceeds from the auction fund the Groves Elementary PTA. Mayor Hogue administered the Oath to Junior Mayor Munoz, and he assisted in conducting the remainder of the meeting.

- **Presentation of Wylie Way Students – 4<sup>th</sup> Quarter.** *(E. Hogue, Mayor)*

Mayor Hogue and Mayor pro tem Stephens presented medallions to students demonstrating “Shining the Wylie Way.” Each nine weeks one student from each WISD campus is chosen as the “Wylie Way Student.”

## **CITIZENS COMMENTS ON NON-AGENDA ITEMS**

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Bobby Heath, representing the Wylie Downtown Merchants Association, urged everyone to attend the Bluegrass on Ballard event scheduled for July 2, 2016. The event will be held in Olde City Park in Historic Downtown Wylie. Features of the event will be arts and crafts booths, food vendors, antique car show, and bluegrass entertainers. New this year will be fireworks sponsored by Bloomfield Homes.

## **CONSENT AGENDA**

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*All matters listed under the Consent Agenda are considered to be routine by the City Council and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.*

- A. Consider, and act upon, approval of the Minutes of May 24, 2016 Regular Meeting of the Wylie City Council. (C. Ehrlich, City Secretary)**
- B. Consider, and act upon, authorizing the City Manager to execute a cooperative agreement with the Collin County Community Supervision and Corrections Department for the purpose of providing probationers placed on community supervision by the courts an opportunity to perform volunteer public service work with the City of Wylie to fulfill sentencing conditions. (S. Rodgers, Parks Manager)**
- C. Consider, and place on file, the Animal Shelter Advisory Board report to City Council regarding the meeting held on May 11, 2016.**
- D. Consider, and act upon, authorizing the City Manager to execute a Rental/Use of Building Facilities Agreement with Waterbrook Bible Fellowship for the purpose of conducting Senior Recreation Center activities. (M. Sferra, Community Services Director)**
- E. Consider, and place on file, the monthly Revenue and Expenditure Report for the Wylie Economic Development Corporation as of April 30, 2016. (S. Satterwhite, WEDC Director)**

## **Council Action**

A motion was made by Councilwoman Culver, seconded by Councilwoman Arrington to approve the Consent Agenda as presented. A vote was taken and the motion passed 6-0 with Councilman Forrester absent.

## **REGULAR AGENDA**

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1. **Consider, and act upon, the recommendations of the 2016 Boards and Commission Council Interview Panel for appointments to the Animal Shelter Advisory Board, Construction Code Board, Library Board, Parks and Recreation Board, Parks and Recreation Facilities Development Corporation Board (4B), Planning and Zoning Commission, Public Arts Advisory Board, Historic Review Commission, Wylie Economic Development Corporation, and the Zoning Board of Adjustments to fill board vacancies for a term to begin July 1, 2016 and end June 30, 2018/19. (C. Ehrlich, City Secretary)**

### **Council Discussion**

Mayor Hogue thanked members of the 2016 Boards and Commissions Interview Panel (Mayor pro tem Stephens, Councilwoman Arrington, and Councilman Dahl) for their service and asked Chair Stephens for recommendations. The following recommendations were acted upon and approved.

### **Council Action**

A motion was made by Mayor pro tem Stephens, seconded by Councilwoman Arrington to appoint the following members to the **Animal Advisory Board (2 year terms)**: Brad Abraham, DVM (Veterinarian) to replace Dr. Chuck Kerin; Beatrice Cordova (citizen position) to replace Amy Nutz; Brad Boozer (citizen position) to replace David Lewis, and re-appoint Councilman David Dahl (public official). A vote was taken and the motion passed 6-0 with Councilman Forrester absent.

A motion was made by Mayor pro tem Stephens, seconded by Councilman Dahl to appoint the following members to the **Construction Code Board (2 year terms)**: Brett Swendig, alternate, to replace Thomas Byers, and Roberts Reynolds, alternate, to replace Charles Barton. Appoint active member David Burkhardt to replace Karyn McGinnis, and to re-appoint Dale Davenport and Sunil Verma. A vote was taken and the motion passed 6-0 with Councilman Forrester absent.

A motion was made by Mayor pro tem Stephens, seconded by Councilwoman Arrington to appoint the following members to the **Library Board (2 year terms)**: re-appointment of Kenneth Cash, and the appointment of Jesse Meason to replace Geraldine Washington. A vote was taken and the motion passed 6-0 with Councilman Forrester absent.

A motion was made by Mayor pro tem Stephens, seconded by Councilman Dahl to appoint the following members to the **Parks and Recreation Board (2 year terms)**: the re-appointment of David White, Emmett Jones, and Matt Rose, and the appointment of Joni Robinson to replace Lisa Ulmer. A vote was taken and the motion passed 6-0 with Councilman Forrester absent.

A motion was made by Mayor pro tem Stephens, seconded by Councilwoman Arrington to appoint the following members to the **Parks and Recreation 4B Board (2 year terms)**: the re-appointment of Mayor Eric Hogue and Councilman David Dahl. A vote was taken and the motion passed 6-0 with Councilman Forrester absent.

A motion was made by Mayor pro tem Stephens, seconded by Councilman Dahl to appoint the following members to the **Planning and Zoning Commission (2 year terms)**: the re-appointment of Sonia Ahmed, Ronald Smith, and Randy Owens, and the appointment of Robert

Myers to replace David Williams. A vote was taken and the motion passed 6-0 with Councilman Forrester absent.

A motion was made by Mayor pro tem Stephens, seconded by Councilwoman Arrington to appoint the following members to the **Public Arts Advisory Board (2 year terms)**: the re-appointment of Brooke Lopez, Lynn Grimes, and Lisa Green, and the appointment of Michael Schwerin to replace Margaret Boyd. A vote was taken and the motion passed 6-0 with Councilman Forrester absent.

A motion was made by Mayor pro tem Stephens, seconded by Councilwoman Arrington to appoint the following members to the **Zoning Board of Adjustment (2 year terms)**: the re-appointment of Jason Potts, Andres Gonzalez, Kevin Finnell, and Robert Holcomb, and to appoint Robert Reynolds to replace Karyn McGinnis and appoint Beatrice Cordova as alternates to the board. A vote was taken and the motion passed 6-0 with Councilman Forrester absent.

A motion was made by Mayor pro tem Stephens, seconded by Councilman Dahl to re-appoint the following members to the **Wylie Economic Development Corporation Board (3 year terms)**: the re-appointment of Mitch Herzog and Marvin Fuller. The Council Committee also suggested the WEDC Bylaws be changed to include one of the following: an “active replacement” or “ExOfficio” to allow training of a replacement should an opening occur on the board. A vote was taken and the motion passed 6-0 with Councilman Forrester absent.

A motion was made by Mayor pro tem Stephens, seconded by Councilman Dahl to appoint the following members to the **Historic Review Commission (2 year terms)**: the re-appointment of Bob Heath, appoint Mandi Wilson to replace Annilee Waterman, and Sandra Stone to replace Jennifer Wakefield. A vote was taken and the motion passed 6-0 with Councilman Forrester absent.

## **Interview of Ethics Board Applicants**

Council members interviewed the following applicants:

Brian Atwood, David Brown, Quincy Johnson, William Martin, Bradley Perry, Steven Wright, Eric Yanou, and Michael Pace.

2. **Consider, and act upon, the appointments to the City of Wylie Ethics Board for a term to begin July 1, 2016 and end June 30, 2017/18.** *(C. Ehrlich, City Secretary)*

## **Council Discussion**

Mayor Hogue introduced the item stating that the Board of Ethics (Board) is created by Wylie Ordinance No. 2014-19 and serves at the will of the City Council. The board shall consist of five (5) regular members and two (2) alternates who will serve no more than one (1) term of two (2) years, with the exception of the inception to achieve staggered terms. The members will be resident citizens of the City and may not serve on any other Council appointed Board or Commission during their term. City of Wylie employees may not serve on the Board. The Board members are required to complete Open Meetings Act training and received Certificate of Completion by the first ninety (90) days of first year appointment.

Mayor Hogue asked for recommendations from the 2016 Boards and Commissions Interview Panel. Chair, Mayor pro tem Stephens made the following recommendations: for 2 year terms: William Martin,

Steven Wright, and Brian Atwood. One year terms: Quincy Johnson and Bradley Perry. Alternate positions: Eric Yanou and David Brown.

Councilwoman Culver stated she believed the board would be served by having an attorney on the board and recommended Michael Pace for a position. Chair Stephens stated that these recommendations were based partly on the applications and the desire shown to serve on this particular board, which all recommended applicants had shown as one of their preferences.

### **Council Action**

A motion was made by Mayor pro tem Stephens, seconded by Councilwoman Culver to appoint the following applicants to the Ethics Board for staggered terms: William Martin, Steven Wright, and Brain Atwood to serve two year terms from July 1, 2016 to June 30, 2018; Quincy Johnson and Bradley Perry to serve one year terms beginning July 1, 2016 and ending June 30, 2017, and to appoint Eric Yanou and David Brown to serve as alternates for two year terms beginning July 1, 2016 and ending June 30, 2018. A vote was taken and the motion passed 6-0 with Councilman Forrester absent.

- 3. Consider, and act upon, an appeal to the City Council of the Historic Review Commission's decision to deny renovations to relocate a window and door for a commercial structure located at 100 N. Ballard Avenue. (R. Ollie, Development Services Director)**

### **Staff/Council Comments**

Development Services Director Ollie addressed Council stating that the applicant had submitted an appeal to the Historic Review Commission's decision to deny a request to relocate a window and door of an existing commercial structure within the Historic Downtown District (DTH).

The applicant states that moving the door south one panel (approx. 3 feet) does not affect the historical value of the property. This is especially true since many of the doors in the downtown area are off-center. The applicant states that it is their belief that the decision was prejudicial and without merit.

Ollie explained staff has provided a google map of the downtown area showing 5 entrances that are currently off-set.

Ollie explained the Commission discussed at great length the off-set of the door. Discussions focused on the relocation of the door and window in that it was not in tune with historic commercial buildings and that the change was too significant. Other options discussed included relocating the main entry to the south side of the building on Oak. The applicant stated that would not be favorable. The Commission also asked if the applicant had discussed with TCBY any alternate floor plan layouts that would allow the door to remain as is. The applicant stated that their preference of course was to have only interior modifications. However, to have a more sufficient interior flow was to relocate the door. Ollie reported the commission voted 3-3, which failed due to lack of a majority vote.

Councilwoman Culver stated that she was a little upset that a business wishing to provide service in the downtown area was having to jump through hoops in order to establish the business. She noted there were other off-set doors in the downtown area and was not sure why this particular request was denied. She asked if there were any other extenuating circumstance that required this denial. Development Services Director Ollie stated there was not, other than what was stated.

Councilman Dahl asked if the original building had been changed since the original construction. Ollie replied it had. Councilman Dahl stated his understanding of the HRC was not to impose restrictions on the owners in the downtown area, but rather to maintain the character of downtown. Councilman Whitney

concurrent with Councilwoman Culver. He asked if the existing doors and windows were the original materials constructed with the building. Ollie replied they were not.

### **Citizen Comments**

Annilee Waterman, a member of the HRC and speaking for herself, addressed council stating why she had based her decision to deny the request. She stated that because the HRC Ordinance did not address these issues she referenced the National Standards & Guidelines for Rehabilitation set by the Secretary of Interior National Parks Department used for "historic" renovation across the country.

Applicant Gary Taylor addressed Council stating that the brick on the building was not "historic brick" and was replaced sometime in the 1960's or early 70's. The same brick would not be hard to replace. He stated that his company had been building in Dallas for many years and always improved the character of a building once renovations were completed. He assured Council the building would retain its historic character.

### **Council Action**

A motion was made by Councilman Whitney, seconded by Councilwoman Arrington to **approve** renovations to relocate a window and door for a commercial structure located at 100 N. Ballard Avenue. A vote was taken and the motion passed 6-0 with Councilman Forrester absent.

- 4. Consider, and act upon, a residential sewer service connection for the property located at 2205 East Stone Road which is located in the ETJ of the City of Wylie.** *(C. Holsted, City Engineer)*

### **Staff/Council Comments**

City Engineer Holsted addressed Council stating that the Kreymer Park development is located on the east side of Wylie along East Stone Road. To provide sewer service to the development, a sewer line extension or the construction of a sewer lift station is required. Staff prefers a sewer line extension due to the reduced maintenance and utility cost over the life of the facility.

Holsted explained, the developer acquired offsite easements to connect to a City of Wylie sewer line located on the south side of E. Stone Road. The alignment crosses two properties which are located in the ETJ. The previous property owner, Robert Kreymer, acquired the necessary offsite easements and an easement agreement was executed by Mr. Kreymer and the property owner at 2205 E. Stone Road. Holsted noted, the City was not aware of this agreement and not a party to the agreement – it is between the property owner and the developer. The agreement states that two sewer taps would be constructed "plus a hook up at the house to the sewer line would be completed if requested." The property owner executed the easement document and it has been filed with the County.

Ordinance No. 2008-24 states "It shall be the policy of the City to not extend sewer lines or construct sewer mains to provide new sewer services to properties within the City's ETJ". Geoff and Julie Kilgore stated they would not have granted the easement unless they could connect to the sewer line.

Mayor Hogue voiced his disappointment in the agreement that was offered by the property owner and developer to the Kilgore's, without the City's knowledge.

Property owners Geoff M. and Julie C. Kilgore addressed Council stating that the developer offered to provide connection to City sewer, backfill, and offered monetary compensation for working on their property. Julie Kilgore stated that as time went on they started asking questions about how they would receive a bill since they were not on City water. The developer replied they had been in contact with the City and it would not be a problem to connect them to the sewer system. Mayor Hogue asked City

Engineer Holsted how many times he had been contacted by the developer regarding the tie in. Mr. Holsted replied he was never contacted by the developer regarding the ETJ tie in for the Kilgore's. Mrs. Kilgore explained that they became suspicious after the developer stated he would hook the applicant up after the City had inspected and left the property.

Mayor Hogue stated, in summary, what the developer told the applicant was he would take care of the sewer hookup for sewer service, if the applicant agreed to let them run the sewer line across their property and the applicant would never have to pay for sewer service. Mayor pro tem Stephens stated that this was fraud. Mayor Hogue stated this brought into questions everything this developer might provide for this development.

Mayor Hogue asked City Manager Mason what would happen if the item before Council was denied. City Manager Manson stated that an easement agreement between the requestor and the developer had been filed with the County and therefore if the item was denied, the easement needed to be abandoned so the developer could not be on the Kilgore property without permission. In addition, a stop work order should be applied to the construction of the sub-division until the developer files alternate plans that are extensively reviewed and approved by the City.

### **Council Action**

A motion was made by Mayor pro tem Stephens, seconded by Councilwoman Culver to **deny** a request for residential sewer service connection for the property located at 2205 East Stone Road which is located in the ETJ of the City of Wylie. A vote was taken and the motion passed 6-0 with Councilman Forrester absent.

5. **Consider, and act upon, authorizing the City Manager to execute an Interlocal Agreement between the City of Wylie and the Dallas Area Rapid Transit Bus Service for the provision of transit services for Wylie citizens who are 65 years of age or older or who have a disability through September 30, 2017.** *(M. Manson, City Manager)*

### **Staff Comments**

City Manager Manson addressed Council stating that the City of Wylie has allocated \$2,500 per month since the FY 14-15 Budget for transit services for residents who are 65 years of age or older or who have disabilities. Initially the service was provided by the Texoma Area Paratransit Services (TAPS) agency to some cities in Collin County including Wylie, Allen, Fairview and McKinney. TAPS encountered financial issues and officially discontinued services in Collin County in December 2015. She explained that in an effort to continue to provide the service, the North Central Texas Council of Governments (COG) asked DART to step in to temporarily continue the service for 90 days to allow time for each entity to evaluate how, or if, to continue the transit services. Services were provided to Wylie, Allen, and Fairview, with McKinney pursuing other avenues. Subsequent to that, DART received a grant from Toyota for \$1 million dollars for the specific purpose of continuing the paratransit services in Collin County. The Regional Transportation Council (RTC) which is the policy and funding approval arm of the COG's regional transportation planning function approved an additional \$650,000 in federal funding to match the Toyota grant.

DART representative Todd Plesko addressed Council stating that the DART Board and LGC approved a plan to continue service for seniors and disabled in Collin County potentially through September 2017. Trips within the three cities and also to McKinney and Frisco are limited to seniors and the disabled. Transportation will be provided weekdays only from 5:00 a.m. to 6:00 p.m. Trips can be scheduled 8:00 a.m. to 5:00 p.m. Ten wheelchair accessible vehicles will be provided and stored in the City of Allen.

Ridership currently ranges from 15 to 30 passengers per week; over 1,000 riders were transported in all three cities through May 2016. Mr. Plesko presented the recommended Taxi Voucher Program to be

implemented for seniors 65+ and disabled. Users purchase taxi vouchers for 25% of voucher value in dollar increments with a maximum one time purchase of \$200. Financial support for the remainder would be funded from Toyota and Federal grants. Medical appointments would take schedule priority.

DART will continue to manage the current program through September 2016 and then provide the Taxi Voucher Program for FY 2017. Costs to service the Taxi Voucher program, based on current use, is estimated to be less than current costs to the City with opportunity to increase the ridership when needed.

### **Council Action**

A motion was made by Councilwoman Arrington, seconded by Councilwoman Culver to authorize the City Manager to execute an Interlocal Agreement between the City of Wylie and the Dallas Area Rapid Transit Bus Service for the provision of transit services for Wylie citizens who are 65 years of age or older or who have a disability through September 30, 2017. A vote was taken and the motion passed 6-0 with Councilman Forrester absent.

6. **Review, consider and act upon, Resolution No. 2016-01(R) passed January 12, 2016, establishing a public newspaper of general circulation to be the “Official Newspaper” for the City of Wylie.** *(C. Ehrlich, City Secretary)*

### **Executive Summary**

City Secretary Ehrlich addressed Council stating that Resolution No. 2016-01(R) was passed by the Wylie City Council on January 12, 2016. At the time of passage Council requested the resolution be reviewed in six months. Staff is bringing the item back for further review. Council may continue the current resolution for the remainder of 2016 or repeal the resolution and adopt a new resolution naming another newspaper of general circulation for the remainder of the year.

Mayor Hogue asked City Manager Manson to give an update on the meetings between herself and the Wylie News and how the relationship was between the two parties. City Manager Manson replied since the January meeting at which the resolution was approved, she had met with publisher Chad Engbrock to speak about both the newspaper and the magazine on two different occasions regarding the content of each. She stated that the relationship at this point was good.

### **Council Action**

A motion was made by Councilman Dahl, seconded by Mayor pro tem Stephens to continue Resolution No. 2016-01(R) establishing the Wylie News as the Official Newspaper for the City of Wylie for 2016. A vote was taken and the motion passed 6-0 with Councilman Forrester absent.

## **WORK SESSION**

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- **FY 2016-2017 Budget Discussion and Overview.** *(M. Manson, City Manager and L. Bantz, Finance Director)*

City Manager Mindy Manson addressed Council presenting an overview of the proposed FY 2016/2017 Budget. She noted this was very preliminary. Manson reviewed some assumptions which included a 10.5% increase in estimated property value and a 5% increase in sales tax for FY 2016/2017 on the revenue side. Expenditures assumed a 10% increase in employee health insurance, and a Public Safety step increase. This assumption also includes base revenue and expenditures for each department.

Factoring in these assumptions, the estimated excess balance for FY 2016/2017 is approximately \$2,909,098.

Not included in the assumptions was Market Survey adjustments (effective Oct' 16) estimated cost to the General Fund of \$1,014,000, merit increases projected at an average 3% for non-sworn personnel (effective Jan' 17) estimated cost to the General Fund of \$206,000. Twenty seven requests for new or upgraded personnel positions totaling to \$1,120,726 with equipment costs associated with new personnel estimated at \$18,413. Non-personnel requests from all departments totaled \$2,935,155.

Manson reviewed the General Fund Balance for 2016/2017, based on assumptions, to be 32%. She reported this percentage was above the reserve fund goal of 25%. Manson noted Department presentations will take place July 14, 2016 and July 19, 2016 to continue the budget discussions.

Manson gave an update to the April 11, 2016 hail storm and subsequent damage to public buildings. She reported the insurance carrier Texas Municipal League would likely have no final numbers regarding damage reimbursement at this time. Estimated costs are being reviewed to cover the remodeling of the Public Safety Building and would be presented at a later date. Councilwoman Culver asked for an updated spreadsheet showing reimbursement for individual buildings once the insurance company had completed their review.

Councilwoman Arrington asked if there were specific departments requiring increases in the Market Survey. Manson replied the Fire Department had the most substantial need for market adjustments. City Manager Manson stated she would like to see the Market Adjustments remain in this year's budget in order not to get behind on employee compensation.

## **RECONVENE INTO REGULAR SESSION**

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Mayor Hogue reconvened into Regular Session at 9:33 p.m.

## **ADJOURNMENT**

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A motion was made by Mayor pro tem Stephens, seconded by Councilman Dahl, to adjourn the meeting at 9:35 p.m. A vote was taken and the motion passed 6-0 with Councilman Forrester absent.

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**Eric Hogue, Mayor**

**ATTEST:**

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**Carole Ehrlich, City Secretary**



# Wylie City Council

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## AGENDA REPORT

**Meeting Date:** June 28, 2016  
**Department:** Planning  
**Prepared By:** Renaë Ollie  
**Date Prepared:** June 16, 2016

**Item Number:** B  
*(City Secretary's Use Only)*  
**Account Code:** \_\_\_\_\_  
**Budgeted Amount:** \_\_\_\_\_  
**Exhibits:** 1

### Subject

Consider, and act upon, approval of a Preliminary Plat for Inspiration, Phase 3 & 4 consisting of 107.629 acres to establish single family residential lots for a master planned development within Wylie's ETJ, generally located north of Parker Road (F.M. 2414) and east of Aztec Trail.

### Recommendation

Motion to approve a Preliminary Plat for Inspiration, Phase 3 & 4 consisting of 107.629 acres to establish single family residential lots for a master planned development within Wylie's ETJ, generally located north of Parker Road (F.M. 2414) and east of Aztec Trail.

### Discussion

**OWNER: HC Inspiration Two, LLC      APPLICANT/ENGINEER: Kimberly K. Cornett, P.E., CFM**

Inspiration is an approximate 700 acre master planned community; special municipal utility district (MUD) located in unincorporated Collin County and the Extraterritorial Jurisdiction of Wylie, St. Paul, and Lucas.

When complete, the development will consist of approximately 1,400 single family lots of varied densities and multiple open space areas and a WISD elementary school site. In accordance with the approved development agreement; the MUD shall comply with City's Subdivision Regulations and plat requirements for properties within Wylie's ETJ.

The plats for Phase 1 & 2, approved in early 2014, totaled approximately 150 acres of which about 20 acres was in the Wylie ETJ.

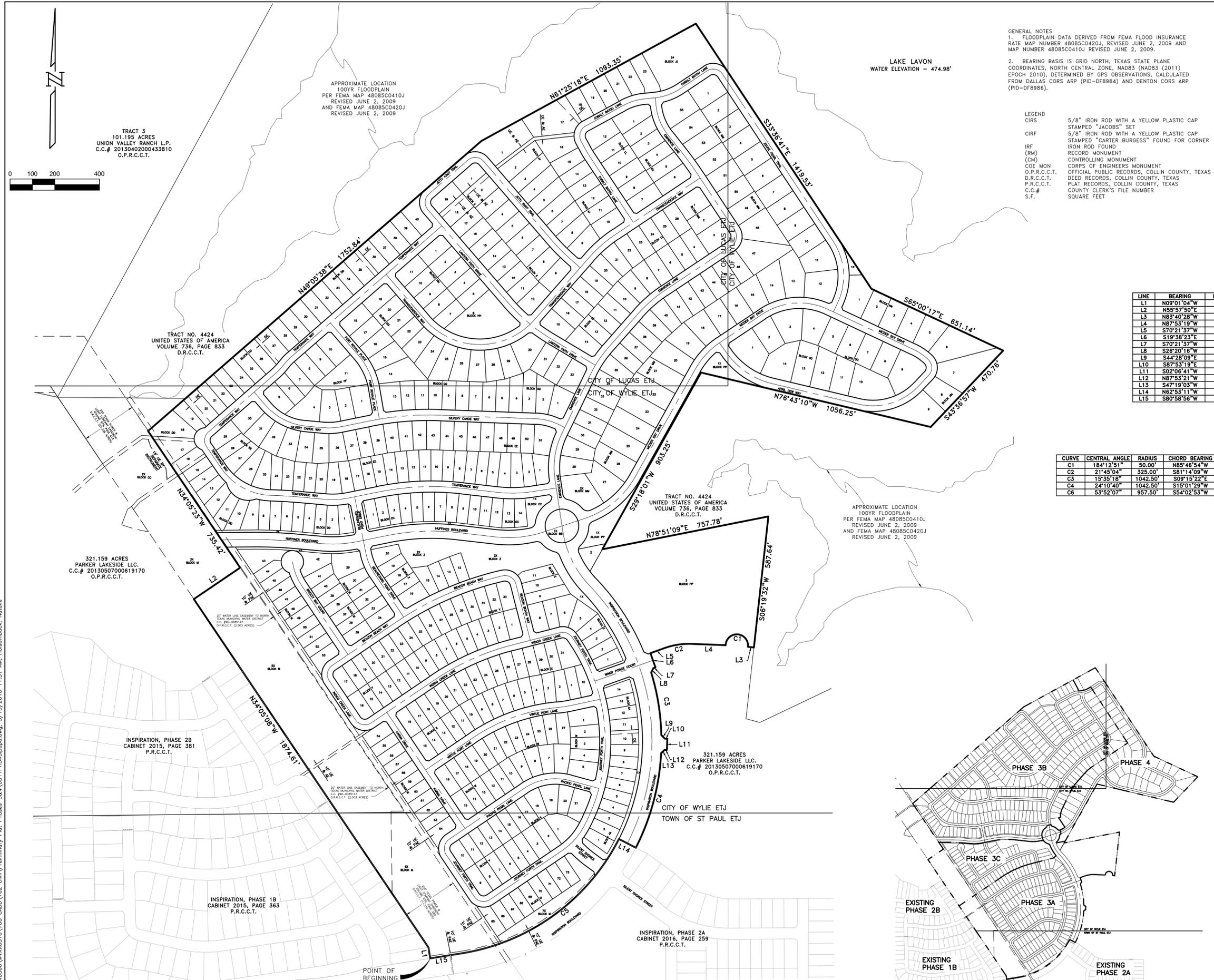
This plat, consisting of Phases 3 & 4 and totals 170.996 acres and 512 residential and common area lots. Within the Wylie ETJ is 107.629 acres and 324 lots, and are submitted for consideration.

The development agreement adopted in October, 2011 requires that the average lot size be 8,500 square feet and unit density be no more than 2.65 per acre for the development within the Wylie ETJ. After the completion of Phase 4 the development averages will be approximately 10,155 square foot lots with a density of 2.94 units per acre. Including the 49 future lots on 31.73 acres will bring the subdivision within the requirements set forth in the development agreement.

This Preliminary Plat complies with all applicable technical requirements of the City of Wylie and conforms to the approved Development Agreement.

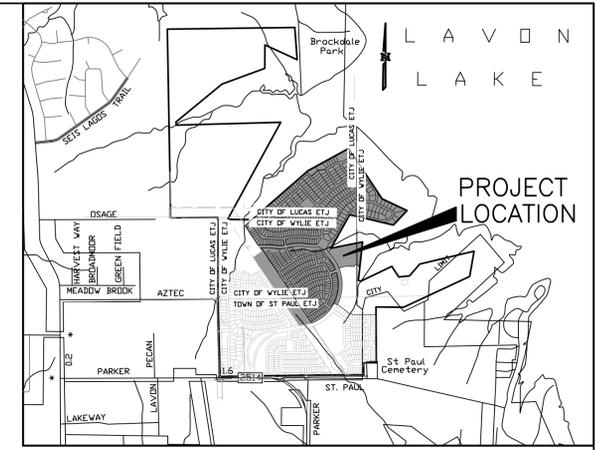
#### **P&Z Commission Discussion**

The Commission recommends approval 4-0 subject to additions and/or alterations to the engineering plans as required by the Engineering Department.



GENERAL NOTES  
 1. FLOODPLAIN DATA DERIVED FROM FEMA FLOOD INSURANCE RATE MAP NUMBER 48085C0420J, REVISED JUNE 2, 2009 AND MAP NUMBER 48085C0410J, REVISED JUNE 2, 2009.  
 2. BEARING BASIS IS GRID NORTH, TEXAS STATE PLANE COORDINATES, NORTH CENTRAL ZONE, NAD83 (NAD83 (2011) EPOCH 2010), DETERMINED BY GPS OBSERVATIONS, CALCULATED FROM DALLAS CORS ARP (PID-DF8984) AND DENTON CORS ARP (PID-DF8986).

LEGEND  
 CIRS 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JACOBS" SET  
 CIRF 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" FOUND FOR CORNER  
 IRF IRON ROD FOUND  
 (RM) RECORD MONUMENT  
 (CM) CONTROLLING MONUMENT  
 COE MON CORPS OF ENGINEERS MONUMENT  
 O.P.R.C.C.T. OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS  
 D.R.C.C.T. DEED RECORDS, COLLIN COUNTY, TEXAS  
 P.R.C.C.T. PLAT RECORDS, COLLIN COUNTY, TEXAS  
 C.C.# COUNTY CLERK'S FILE NUMBER  
 S.F. SQUARE FEET



VICINITY MAP  
 1" = 2000'

LINE	BEARING	DISTANCE
L1	N09°01'04"W	49.50'
L2	N55°57'50"E	250.00'
L3	N83°40'28"W	26.63'
L4	N87°53'19"W	152.59'
L5	S70°21'37"W	67.49'
L6	S19°38'23"E	67.50'
L7	S70°21'37"W	10.00'
L8	S26°20'16"W	21.57'
L9	S44°28'09"E	21.79'
L10	S87°53'19"E	11.20'
L11	S07°08'41"W	50.00'
L12	N87°53'21"W	10.00'
L13	S47°19'03"W	21.29'
L14	N62°53'11"W	85.00'
L15	S80°58'56"W	144.63'

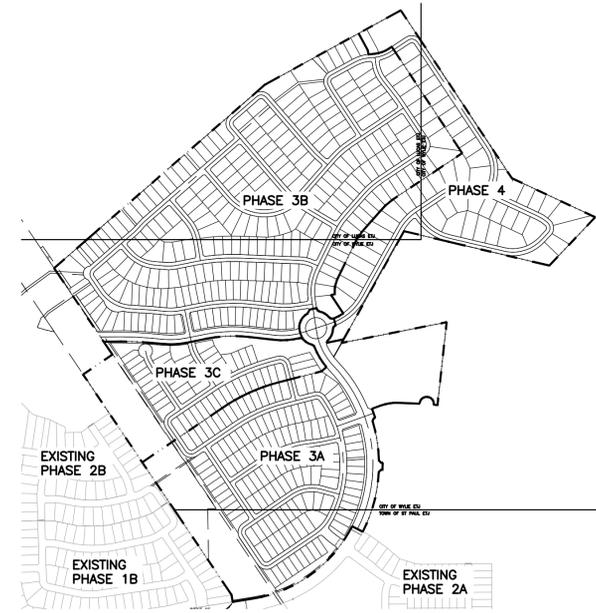
CURVE	CENTRAL ANGLE	RADIUS	CHORD BEARING	CHORD LENGTH	ARC LENGTH
C1	184°12'51"	50.00'	N85°46'54"W	99.93'	160.76'
C2	21°45'04"	325.00'	S81°14'09"W	122.64'	123.38'
C3	15°35'18"	1042.50'	S09°15'22"E	282.75'	283.63'
C4	24°10'40"	1042.50'	S15°01'29"W	436.66'	440.38'
C6	53°52'07"	957.50'	S54°02'53"W	867.43'	900.23'

**PRELIMINARY PLAT**  
 OF  
**INSPIRATION**  
**PHASE 3 & 4**

OUT OF THE  
 L. FARMER SURVEY ~ ABSTRACT NO. 334  
 M. MORRIS SURVEY ~ ABSTRACT NO. 561  
 O. SHELBY SURVEY ~ ABSTRACT NO. 799  
 J. TURNHAM SURVEY ~ ABSTRACT NO. 919  
 IN THE TOWN OF ST. PAUL E.T.J., THE CITY OF WYLIE E.T.J., AND THE CITY OF LUCAS E.T.J., COLLIN COUNTY, TEXAS  
 ST. PAUL E.T.J. - 12.929 ACRES  
 WYLIE E.T.J. - 107.629 ACRES  
 LUCAS E.T.J. - 50.438 ACRES  
 508 RESIDENTIAL LOTS  
 4 NON-RESIDENTIAL LOTS

OWNER/DEVELOPER: HC INSPIRATION TWO, LLC  
 8200 DOUGLAS AVENUE, SUITE 300  
 DALLAS, TEXAS 75225  
 214.750.1800  
 PLANNER: MESA DESIGN GROUP  
 2001 N. LAMAR STREET, SUITE 100  
 DALLAS, TEXAS 75202  
 214-871-0568

ENGINEER:  
**JACOBS**  
 1999 BRYAN STREET, SUITE 1200  
 DALLAS, TX 75201-3136  
 PHONE 214-638-0145  
 FAX 214-638-0447  
 Jacobs Engineering Group Inc.  
 Texas Registration F-2966



PHASE PLAN  
 1" = 600'

I:\S\WXX0330\WXX0330\_700\_CADD\702\_Civil\Preliminary Plat Phases 3&4\1PH345\popo.dwg, 5/13/2016 11:51 AM, Holsomback, Natalie

INSPIRATION PHASE 3 & 4 - WYLIE

PRELIMINARY PLAT

LEGAL DESCRIPTION  
170.984 ACRES

BEING A 170.984 ACRE TRACT OF LAND SITUATED IN THE MARK MORRIS SURVEY, ABSTRACT NO. 561, THE LEROY FARMER SURVEY, ABSTRACT NO. 334, THE JOSIAH TURNHAM SURVEY, ABSTRACT NO. 919, AND THE ORPHA SHELBY SURVEY, ABSTRACT NO. 799, IN THE TOWN OF ST. PAUL E.T.J., THE CITY OF WYLIE E.T.J. AND THE CITY OF LUCAS E.T.J., COLLIN COUNTY, TEXAS, AND BEING PART OF A 321.159 ACRE TRACT OF LAND, CONVEYED TO PARKER LAKESIDE, LLC, BY DEED RECORDED IN COUNTY CLERK'S FILE NO. 20130507000619170, OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS. SAID 170.984 ACRE TRACT, WITH BEARING BASIS BEING GRID NORTH, TEXAS STATE PLANE COORDINATES, NORTH CENTRAL ZONE, NAD83 (NAD83 (2011) EPOCH 2010), DETERMINED BY GPS OBSERVATIONS, CALCULATED FROM DALLAS CORS ARP (PID-DF8984) AND DENTON CORS ARP (PID-DF8986), AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR THE SOUTHEAST CORNER OF LOT 1X, BLOCK M, OF INSPIRATION, PHASE 1B, AN ADDITION TO THE TOWN OF ST. PAUL E.T.J., AND TO THE CITY OF WYLIE, E.T.J., AS RECORDED IN CABINET 2015, PAGE 363, PLAT RECORDS, COLLIN COUNTY, TEXAS, AND BEING ON THE NORTHERLY RIGHT-OF-WAY LINE OF INSPIRATION BOULEVARD, A VARIABLE WIDTH RIGHT-OF-WAY OF INSPIRATION, PHASE 1A-1, AN ADDITION TO THE TOWN OF ST. PAUL E.T.J., AS RECORDED IN CABINET 2014, PAGE 602, PLAT RECORDS, COLLIN COUNTY, TEXAS;

THENCE, ALONG THE NORTHEAST LINE OF SAID INSPIRATION, PHASE 1B, THE FOLLOWING COURSES AND DISTANCES:

NORTH 09 DEGREES 01 MINUTE 04 SECONDS WEST, A DISTANCE OF 49.50 FEET TO A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR CORNER;

NORTH 34 DEGREES 05 MINUTES 08 SECONDS WEST, PASSING AT A DISTANCE OF 792.00 FEET A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR THE NORTHEAST CORNER OF SAID INSPIRATION, PHASE 1B, AND THE COMMON SOUTHEAST CORNER OF INSPIRATION, PHASE 2B, AN ADDITION TO THE TOWN OF ST. PAUL, E.T.J., AND THE CITY OF WYLIE, E.T.J., AS RECORDED IN CABINET 2015, PAGE 381, PLAT RECORDS, COLLIN COUNTY, TEXAS, AND CONTINUING ALONG THE NORTHEAST LINE OF SAID INSPIRATION, PHASE 2B, PASSING AT A DISTANCE OF 1545.20 FEET A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR THE NORTHEAST CORNER OF SAID INSPIRATION, PHASE 2B, AND CONTINUING OVER AND ACROSS SAID 321.159 ACRE TRACT FOR A TOTAL DISTANCE OF 1874.61 FEET TO A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR CORNER;

THENCE, CONTINUING OVER AND ACROSS SAID 321.159 ACRE TRACT, THE FOLLOWING COURSES AND DISTANCES:

NORTH 55 DEGREES 57 MINUTES 50 SECONDS EAST, A DISTANCE OF 250.00 FEET TO A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR CORNER;

NORTH 34 DEGREES 05 MINUTES 08 SECONDS WEST, A DISTANCE OF 735.42 FEET TO A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR CORNER;

NORTH 49 DEGREE 05 MINUTES 38 SECONDS EAST, PASSING AT A DISTANCE OF 221.81 FEET A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" FOUND FOR AN ANGLE POINT ON THE NORTH LINE OF SAID 321.159 ACRE TRACT, AND A COMMON SOUTHERLY CORNER OF A TRACT OF LAND CONVEYED AS TRACT NO. 4424, TO THE UNITED STATES OF AMERICA, BY DEED RECORDED IN VOLUME 736, PAGE 833, DEED RECORDS, COLLIN COUNTY, TEXAS, AND CONTINUING ALONG THE NORTH LINE OF SAID 321.159 ACRE TRACT, AND A COMMON SOUTHERLY LINE OF SAID TRACT NO. 4424, FOR A TOTAL DISTANCE OF 1752.84 FEET TO A CORPS OF ENGINEERS MONUMENT STAMPED "4424-16" FOUND FOR CORNER;

THENCE, CONTINUING ALONG THE COMMON LINES OF SAID 321.159 ACRE TRACT, AND SAID TRACT NO. 4424, THE FOLLOWING COURSES AND DISTANCES:

NORTH 61 DEGREES 25 MINUTES 18 SECONDS EAST, A DISTANCE OF 1093.35 FEET TO A CORPS OF ENGINEERS MONUMENT STAMPED "4424-15" FOUND FOR CORNER;

SOUTH 33 DEGREES 36 MINUTES 41 SECONDS EAST, A DISTANCE OF 1419.53 FEET TO A CORPS OF ENGINEERS MONUMENT STAMPED "4424-14" FOUND FOR CORNER;

SOUTH 65 DEGREES 00 MINUTES 17 SECONDS EAST, A DISTANCE OF 651.14 FEET TO A CORPS OF ENGINEERS MONUMENT STAMPED "4424-13" FOUND FOR CORNER;

SOUTH 43 DEGREES 36 MINUTES 57 SECONDS WEST, A DISTANCE OF 470.76 FEET TO A CORPS OF ENGINEERS MONUMENT STAMPED "4424-12" FOUND FOR CORNER;

NORTH 76 DEGREES 43 MINUTES 10 SECONDS WEST, A DISTANCE OF 1056.25 FEET TO A CORPS OF ENGINEERS MONUMENT STAMPED "4424-11" FOUND FOR CORNER;

SOUTH 29 DEGREES 18 MINUTES 01 SECOND WEST, A DISTANCE OF 903.25 FEET TO A CORPS OF ENGINEERS MONUMENT STAMPED "4424-10" FOUND FOR CORNER;

NORTH 78 DEGREES 51 MINUTES 09 SECONDS EAST, A DISTANCE OF 757.78 FEET TO A CORPS OF ENGINEERS MONUMENT STAMPED "4424-9" FOUND FOR CORNER;

SOUTH 06 DEGREES 19 MINUTES 32 SECONDS WEST, A DISTANCE OF 587.64 FEET TO A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR CORNER;

THENCE, OVER AND ACROSS SAID 321.159 ACRE TRACT, THE FOLLOWING COURSES AND DISTANCES:

NORTH 83 DEGREES 40 MINUTES 28 SECONDS WEST, A DISTANCE OF 26.63 FEET TO A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR CORNER, AND THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 184 DEGREES 12 MINUTES 51 SECONDS, A RADIUS OF 50.00 FEET, AND A LONG CHORD THAT BEARS NORTH 85 DEGREES 46 MINUTES 54 SECONDS WEST A DISTANCE OF 99.93 FEET;

ALONG SAID NON-TANGENT CURVE TO THE LEFT, AN ARC DISTANCE OF 160.76 FEET TO A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR CORNER;

NORTH 87 DEGREES 53 MINUTES 19 SECONDS WEST, A DISTANCE OF 152.59 FEET TO A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR CORNER, AND THE BEGINNING OF A TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 21 DEGREES 45 MINUTES 04 SECONDS, A RADIUS OF 325.00 FEET, AND A LONG CHORD THAT BEARS SOUTH 81 DEGREES 14 MINUTES 09 SECONDS WEST A DISTANCE OF 122.64 FEET;

ALONG SAID TANGENT CURVE TO THE LEFT, AN ARC DISTANCE OF 123.38 FEET TO A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR CORNER;

SOUTH 70 DEGREES 21 MINUTES 37 SECONDS WEST, A DISTANCE OF 67.49 FEET TO A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR CORNER;

SOUTH 19 DEGREES 38 MINUTES 23 SECONDS EAST, A DISTANCE OF 67.50 FEET TO A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR CORNER;

SOUTH 70 DEGREES 21 MINUTES 37 SECONDS WEST, A DISTANCE OF 10.00 FEET TO A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR CORNER;

SOUTH 26 DEGREES 20 MINUTES 16 SECONDS WEST, A DISTANCE OF 21.57 FEET TO A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR CORNER, AND THE BEGINNING OF A NON-TANGENT CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 15 DEGREES 35 MINUTES 18 SECONDS, A RADIUS OF 1042.50 FEET, AND A LONG CHORD THAT BEARS SOUTH 09 DEGREES 15 MINUTES 22 SECONDS EAST A DISTANCE OF 282.75 FEET;

ALONG SAID NON-TANGENT CURVE TO THE RIGHT, AN ARC DISTANCE OF 283.53 FEET TO A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR CORNER;

SOUTH 44 DEGREES 28 MINUTES 09 SECONDS EAST, A DISTANCE OF 21.79 FEET TO A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR CORNER;

SOUTH 87 DEGREES 53 MINUTES 19 SECONDS EAST, A DISTANCE OF 11.20 FEET TO A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR CORNER;

SOUTH 02 DEGREES 06 MINUTES 41 SECONDS WEST, A DISTANCE OF 50.00 FEET TO A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR CORNER;

NORTH 87 DEGREES 53 MINUTES 19 SECONDS WEST, A DISTANCE OF 10.00 FEET TO A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR CORNER;

SOUTH 47 DEGREES 19 MINUTES 03 SECONDS WEST, A DISTANCE OF 21.29 FEET TO A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR CORNER, AND THE BEGINNING OF A NON-TANGENT CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 24 DEGREES 10 MINUTES 40 SECONDS, A RADIUS OF 1042.50 FEET, AND A LONG CHORD THAT BEARS SOUTH 15 DEGREES 01 MINUTE 29 SECONDS WEST A DISTANCE OF 436.66 FEET;

ALONG SAID NON-TANGENT CURVE TO THE RIGHT, AN ARC DISTANCE OF 439.92 FEET TO A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR THE NORTHWEST CORNER OF LOT 1X, BLOCK N, OF INSPIRATION, PHASE 2A, AN ADDITION TO THE TOWN OF ST. PAUL, E.T.J., AS RECORDED IN CABINET 2015, PAGE 240, PLAT RECORDS, COLLIN COUNTY, TEXAS, AND THE COMMON NORTHEAST CORNER OF INSPIRATION BOULEVARD, AN 85 FOOT RIGHT-OF-WAY OF SAID INSPIRATION, PHASE 2A;

THENCE, ALONG THE NORTHERLY LINES OF SAID INSPIRATION, PHASE 2A, THE FOLLOWING COURSES AND DISTANCES:

NORTH 62 DEGREES 53 MINUTES 11 SECONDS WEST, A DISTANCE OF 85.00 FEET TO A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR CORNER, AND THE BEGINNING OF A NON-TANGENT CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 53 DEGREES 52 MINUTES 07 SECONDS, A RADIUS OF 957.50 FEET, AND A LONG CHORD THAT BEARS SOUTH 54 DEGREES 02 MINUTES 53 SECONDS WEST A DISTANCE OF 867.43 FEET;

ALONG SAID NON-TANGENT CURVE TO THE RIGHT, AN ARC DISTANCE OF 900.23 FEET TO A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR CORNER;

SOUTH 80 DEGREES 58 MINUTES 56 SECONDS WEST, PASSING AT A DISTANCE OF 51.62 FEET A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JACOBS" SET FOR THE WESTERLY MOST NORTHWEST CORNER OF SAID INSPIRATION, PHASE 2A, AND THE COMMON NORTHEAST CORNER OF AFORESAID INSPIRATION PHASE 1A-1, AND CONTINUING ALONG THE NORTH LINE OF SAID INSPIRATION, PHASE 1A-1, AND SAID NORTH RIGHT-OF-WAY LINE OF SAID INSPIRATION BOULEVARD, FOR A TOTAL DISTANCE OF 144.63 FEET TO THE POINT OF BEGINNING AND CONTAINING A CALCULATED AREA OF 7,448,073 SQUARE FEET, OR 170.984 ACRES OF LAND.

CITY OF WYLIE  
"SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY ORDINANCE AND STATE LAW AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS."

"RECOMMENDED FOR APPROVAL"

CHAIRMAN, PLANNING & ZONING COMMISSION  
CITY OF WYLIE

"APPROVED FOR CONSTRUCTION"

MAYOR, CITY OF WYLIE, TEXAS

"ACCEPTED"

MAYOR, CITY OF WYLIE, TEXAS

THE UNDERSIGNED, THE CITY SECRETARY OF THE CITY OF WYLIE, TEXAS, HEREBY CERTIFIES THAT THE FOREGOING FINAL PLAT OF THE \_\_\_\_\_ SUBDIVISION OR ADDITION TO THE CITY OF WYLIE WAS SUBMITTED TO THE CITY COUNCIL ON \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, AND THE COUNCIL, BY FORMAL ACTION, THEN AND THERE ACCEPTED THE DEDICATION OF STREETS, ALLEY, PARKS, EASEMENT, PUBLIC PLACES, AND WATER AND SEWER LINES AS SHOWN AND SET FORTH IN AND UPON SAID PLAT AND SAID COUNCIL FURTHER AUTHORIZED THE MAYOR TO NOTE THE ACCEPTANCE THEREOF BY SIGNING HIS NAME AS HEREINABOVE SUBSCRIBED.

WITNESS MY HAND THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_.

CITY SECRETARY  
CITY OF WYLIE, TEXAS

**PRELIMINARY PLAT**

OF  
**INSPIRATION  
PHASE 3 & 4**

OUT OF THE  
L. FARMER SURVEY ~ ABSTRACT NO. 334  
M. MORRIS SURVEY ~ ABSTRACT NO. 561  
O. SHELBY SURVEY ~ ABSTRACT NO. 799  
J. TURNHAM SURVEY ~ ABSTRACT NO. 919

IN THE CITY OF WYLIE E.T.J.  
COLLIN COUNTY, TEXAS  
107.629 ACRES  
322 RESIDENTIAL LOTS  
2 NON-RESIDENTIAL LOTS

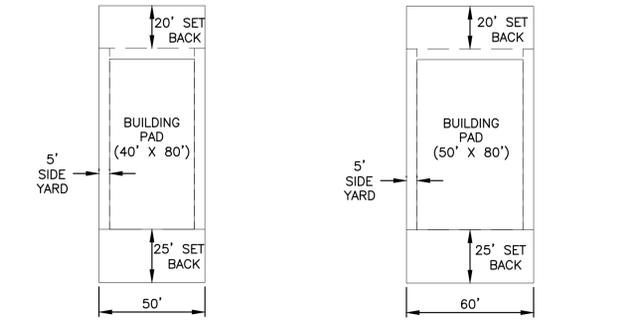
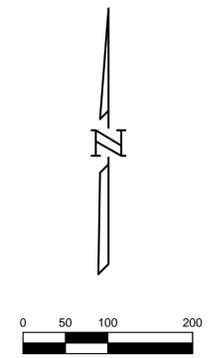
OWNER/DEVELOPER  
HC INSPIRATION TWO, LLC  
8200 DOUGLAS AVENUE, SUITE 300  
DALLAS, TEXAS 75225  
214.750.1800

PLANNER  
MESA DESIGN GROUP  
2001 N. LAMAR STREET, SUITE 100  
DALLAS, TEXAS 75202  
214-871-0568

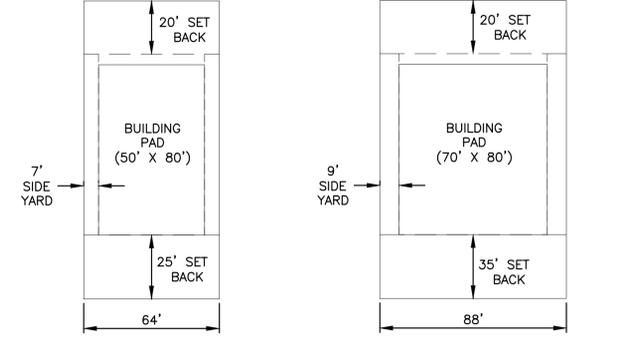
ENGINEER:  
**JACOBS**  
1999 BRYAN STREET, SUITE 1200  
DALLAS, TX 75201-3136  
PHONE 214-638-0145  
FAX 214-638-0447  
Jacobs Engineering Group Inc.  
Texas Registration F-2966



TRACT NO. 4424  
 UNITED STATES OF AMERICA  
 VOLUME 736, PAGE 833  
 D.R.C.C.T.



50' X 130' LOT LAYOUT TYP      60' X 130' LOT LAYOUT TYP



64' X 140' LOT LAYOUT TYP      88' X 140' LOT LAYOUT TYP

321.159 ACRES  
 PARKER LAKESIDE LLC.  
 C.C.# 20130507000619170  
 O.P.R.C.C.T.

CITY OF WYLIE ETJ  
 TOWN OF ST PAUL ETJ

**PRELIMINARY PLAT**  
 OF  
**INSPIRATION**  
**PHASE 3 & 4**

OUT OF THE  
 L. FARMER SURVEY ~ ABSTRACT NO. 334  
 M. MORRIS SURVEY ~ ABSTRACT NO. 561  
 O. SHELBY SURVEY ~ ABSTRACT NO. 799  
 J. TURNHAM SURVEY ~ ABSTRACT NO. 919  
 IN THE CITY OF WYLIE E.T.J.  
 COLLIN COUNTY, TEXAS  
 107.629 ACRES  
 322 RESIDENTIAL LOTS  
 2 NON-RESIDENTIAL LOTS

<b>OWNER/DEVELOPER</b>	<b>PLANNER</b>
HC INSPIRATION TWO, LLC 8200 DOUGLAS AVENUE, SUITE 300 DALLAS, TEXAS 75225 214.750.1800	MESA DESIGN GROUP 2001 N. LAMAR STREET, SUITE 100 DALLAS, TEXAS 75202 214-871-0568

**ENGINEER:**  
**JACOBS**  
 1999 BRYAN STREET, SUITE 1200  
 DALLAS, TX 75201-3136  
 PHONE 214-638-0145  
 FAX 214-638-0447  
 Jacobs Engineering Group Inc.  
 Texas Registration F-2966

INSPIRATION, PHASE 1B  
 CABINET 2015, PAGE 363  
 P.R.C.C.T.

INSPIRATION, PHASE 2A  
 CABINET 2016, PAGE 259  
 P.R.C.C.T.

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INSPIRATION PHASE 3 & 4 - WYLIE

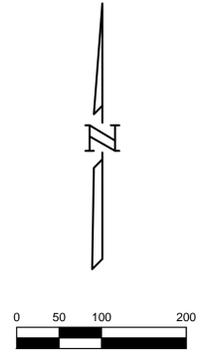
PRELIMINARY PLAT



TRACT NO. 4424  
 UNITED STATES OF AMERICA  
 VOLUME 736, PAGE 833  
 D.R.C.C.T.

TRACT NO. 4424  
 UNITED STATES OF AMERICA  
 VOLUME 736, PAGE 833  
 D.R.C.C.T.

321.159 ACRES  
 PARKER LAKESIDE LLC.  
 C.C.# 20130507000619170  
 O.P.R.C.C.T.



LOT SUMMARY TABLE

INSPIRATION PHASE	CITY OF WYLIE ETJ				TOTAL
	3A	3B	3C	4	
88'X140' LOTS (70'X80' PADS)	0	4	0	43	47
64'X140' LOTS (50'X80' PADS)	0	7	0	0	7
60'X130' LOTS (50'X80' PADS)	0	41	0	0	41
50'X130' LOTS (50'X80' PADS)	107	66	54	0	227
<b>TOTAL</b>	<b>107</b>	<b>118</b>	<b>54</b>	<b>43</b>	<b>322</b>
Average Residential Lot Size (sf)	7066	8867	7388	15929	9812.5
Gross Acre (acres)	34.12	29.89	13.59	22.32	107.63
Gross Density (lots/acre)	3.14	3.95	3.97	1.93	2.99
Common Area (acres)	0.67	0.49	1.98	0.10	3.24
Non-Residential Lot (acres)	7.32	0.00	0.00	0.00	7.32

NOTE:  
 MAXIMUM GROSS DENSITY ALLOWED = 2.65 LOTS/ACRE  
 OVERALL GROSS ACRE = 160.74 ACRES  
 MAXIMUM NUMBER OF LOTS ALLOWED = 426  
 OVERALL LOT COUNT  
 EXISTING = 53  
 PROPOSED = 322  
 FUTURE = 49  
 TOTAL = 424

**PRELIMINARY PLAT**  
 OF  
**INSPIRATION PHASE 3 & 4**

OUT OF THE  
 L. FARMER SURVEY ~ ABSTRACT NO. 334  
 M. MORRIS SURVEY ~ ABSTRACT NO. 561  
 O. SHELBY SURVEY ~ ABSTRACT NO. 799  
 J. TURNHAM SURVEY ~ ABSTRACT NO. 919  
 IN THE CITY OF WYLIE E.T.J.  
 COLLIN COUNTY, TEXAS  
 107.629 ACRES  
 322 RESIDENTIAL LOTS  
 2 NON-RESIDENTIAL LOTS

OWNER/DEVELOPER: HC INSPIRATION TWO, LLC  
 8200 DOUGLAS AVENUE, SUITE 300  
 DALLAS, TEXAS 75225  
 214.750.1800

PLANNER: MESA DESIGN GROUP  
 2001 N. LAMAR STREET, SUITE 100  
 DALLAS, TEXAS 75202  
 214-871-0568

ENGINEER:  
**JACOBS**  
 1999 BRYAN STREET, SUITE 1200  
 DALLAS, TX 75201-3136  
 PHONE 214-638-0145  
 FAX 214-638-0447  
 Jacobs Engineering Group Inc.  
 Texas Registration F-2966

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LAKE LAVON  
WATER ELEVATION - 474.98'

TRACT NO. 4424  
UNITED STATES OF AMERICA  
VOLUME 736, PAGE 833  
D.R.C.C.T.

TRACT NO. 4424  
UNITED STATES OF AMERICA  
VOLUME 736, PAGE 833  
D.R.C.C.T.

**PRELIMINARY PLAT**  
OF  
**INSPIRATION  
PHASE 3 & 4**

OUT OF THE  
L. FARMER SURVEY ~ ABSTRACT NO. 334  
M. MORRIS SURVEY ~ ABSTRACT NO. 561  
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IN THE CITY OF WYLIE E.T.J.  
COLLIN COUNTY, TEXAS  
107.629 ACRES  
322 RESIDENTIAL LOTS  
2 NON-RESIDENTIAL LOTS

<b>OWNER/DEVELOPER</b>	<b>PLANNER</b>
HC INSPIRATION TWO, LLC 8200 DOUGLAS AVENUE, SUITE 300 DALLAS, TEXAS 75225 214.750.1800	MESA DESIGN GROUP 2001 N. LAMAR STREET, SUITE 100 DALLAS, TEXAS 75202 214-871-0568

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# Wylie City Council

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## AGENDA REPORT

Meeting Date: June 28, 2016  
Department: Finance  
Prepared By: Finance  
Date Prepared: June 16, 2016

Item Number: C  
*(City Secretary's Use Only)*  
Account Code: \_\_\_\_\_  
Budgeted Amount: \_\_\_\_\_  
Exhibits: Investment Report

### Subject

Consider, and place on file, the City of Wylie Monthly Investment Report for May 31, 2016.

### Recommendation

Motion to accept and place on file, the City of Wylie Monthly Investment Report for May 31, 2016.

### Discussion

The Finance Department has prepared the attached reports for the City Council as required by the City Charter.

# City Of Wylie

## 2015-2016 Investment Report May 31, 2016

Money Market Accounts:

MMA
-----

Certificates of Deposit:

CCD
-----

Treasury Bills:

T-Bills
---------

Treasury Notes:

T-Notes
---------

Government Agency Notes:

AN
----

Invest. Number	Principal Amount	Type Of Security	Interest Rate	Issuer	Purchase Date	Maturity Date
1	\$14,559,434.87	MMA	0.3399%	Texpool	12/31/2006	NA
2	\$15,080,920.05	MMA	0.3664%	TexStar	3/15/2011	NA
	\$29,640,354.92					

Total

Weighted Average Coupon:

0.3534%
---------

Weighted Average Maturity (Days):

1.00
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Money Markets:

\$29,640,354.92
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Certificates of Deposits:

\$0.00
--------

\$29,640,354.92
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# Wylie City Council

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## AGENDA REPORT

Meeting Date: June 28, 2016  
Department: Finance  
Prepared By: Finance  
Date Prepared: June 16, 2016

Item Number: \_\_\_\_\_  
*(City Secretary's Use Only)*  
Account Code: \_\_\_\_\_  
Budgeted Amount: \_\_\_\_\_  
Exhibits: Revenue and Expenditure  
Monthly Report

### Subject

Consider, and place on file, the City of Wylie Monthly Revenue and Expenditure Report for May 31, 2016.

### Recommendation

Motion to accept and place on file, the City of Wylie Monthly Revenue and Expenditure Report for May 31, 2016.

### Discussion

The Finance Department has prepared the attached reports for the City Council as required by the City Charter.

# CITY OF WYLIE

## MONTHLY FINANCIAL REPORT

May 31, 2016

ACCOUNT DESCRIPTION	ANNUAL BUDGET 2015-2016	CURRENT MONTH ACTUAL 2015-2016	YTD ACTUAL 2015-2016	YTD ACTUAL AS A PERCENT OF BUDGET	Benchmark 66.67%
<b>GENERAL FUND REVENUE SUMMARY</b>					
TAXES	23,439,014	590,074	21,235,562	90.60%	A
FRANCHISE FEES	2,671,000	315,838	1,134,504	42.47%	B
LICENSES AND PERMITS	746,000	167,924	717,386	96.16%	
INTERGOVERNMENTAL REV.	920,464	15,999	473,585	51.45%	C
SERVICE FEES	3,225,000	262,664	2,158,590	66.93%	
FINES AND FORFEITURES	660,832	35,247	325,954	49.32%	D
INTEREST INCOME	5,000	3,599	19,288	385.77%	
MISCELLANEOUS INCOME	166,000	22,708	129,196	77.83%	
OTHER FINANCING SOURCES	2,054,050	156,472	2,612,424	127.18%	E
<b>REVENUES</b>	<b>33,887,360</b>	<b>1,570,525</b>	<b>28,806,489</b>	<b>85.01%</b>	
USE OF FUND BALANCE	972,783	NA	NA	NA	F
USE OF CARRY-FORWARD FUNDS	58,907	NA	NA	NA	
<b>TOTAL REVENUES</b>	<b>34,919,050</b>	<b>NA</b>	<b>NA</b>	<b>NA</b>	
<b>GENERAL FUND EXPENDITURE SUMMARY</b>					
CITY COUNCIL	90,796	3,191	47,543	52.36%	
CITY MANAGER	839,376	63,132	525,574	62.61%	
CITY SECRETARY	276,747	23,180	177,487	64.13%	
CITY ATTORNEY	147,000	13,209	48,820	33.21%	
FINANCE	1,034,360	58,632	653,200	63.15%	
FACILITIES	722,629	102,243	395,117	54.68%	
MUNICIPAL COURT	370,347	31,730	228,825	61.79%	
HUMAN RESOURCES	285,112	24,962	172,717	60.58%	
PURCHASING	134,410	11,210	75,929	56.49%	
INFORMATION TECHNOLOGY	1,279,371	59,502	851,499	66.56%	
POLICE	8,652,263	774,130	5,377,871	62.16%	
FIRE	7,265,929	508,287	4,240,837	58.37%	
EMERGENCY COMMUNICATIONS	1,357,482	141,290	845,479	62.28%	
ANIMAL CONTROL	646,373	32,759	413,454	63.97%	
PLANNING	545,503	43,980	332,106	60.88%	
BUILDING INSPECTION	449,137	30,042	214,857	47.84%	
CODE ENFORCEMENT	236,789	15,176	127,603	53.89%	
STREETS	2,339,392	108,890	905,353	38.70%	
PARKS	2,388,809	137,678	1,307,082	54.72%	
LIBRARY	1,731,886	130,982	1,050,563	60.66%	
COMBINED SERVICES	4,752,699	697,303	2,858,536	60.15%	
<b>TOTAL EXPENDITURES</b>	<b>35,546,409</b>	<b>3,011,508</b>	<b>20,850,452</b>	<b>58.66%</b>	
<b>REVENUES OVER/(UNDER) EXPENDITURES</b>	<b>-627,359</b>	<b>-1,440,983</b>	<b>7,956,037</b>	<b>26.35%</b>	
<p>A. Property Tax Collections for FY15-16 as of May 31 are 100.09%, in comparison to FY14-15 for the same time period of 99.91%.</p> <p>B. Franchise Fees: The majority of franchise fees are recognized in the third and fourth quarter with electric fees making up the majority.</p> <p>C. Intergovernmental Rev: The majority of intergovernmental revenues come from WISD reimbursements and Fire Services which are billed quarterly.</p> <p>D. Fines and Forfeitures: The Court Fines budget was significantly increased for FY15-16. Actual revenues are up 33% compared to this time last year.</p> <p>E. Other Financing Sources includes the annual transfer from the Utility Fund and insurance proceeds related to the recent hail storm.</p> <p>F. Use of Fund Balance: For Replacement/New Fleet &amp; Equipment and Transfer to Debt Service.</p>					

# CITY OF WYLIE

## MONTHLY FINANCIAL REPORT

May 31, 2016

ACCOUNT DESCRIPTION	ANNUAL BUDGET 2015-2016	CURRENT MONTH ACTUAL 2015-2016	YTD ACTUAL 2015-2016	YTD ACTUAL AS A PERCENT OF BUDGET	Benchmark 66.67%
<b>UTILITY FUND REVENUES SUMMARY</b>					
SERVICE FEES	12,690,000	1,139,227	7,869,817	62.02%	<b>G</b>
INTEREST INCOME	1,500	1,119	6,425	428.34%	
MISCELLANEOUS INCOME	57,000	5,927	87,800	154.04%	
OTHER FINANCING SOURCES	101,200	0	101,200	100.00%	
<b>REVENUES</b>	<b>12,849,700</b>	<b>1,146,273</b>	<b>8,065,242</b>	<b>62.77%</b>	
USE OF FUND BALANCE	113,100	NA	NA	NA	<b>H</b>
USE OF CARRY-FORWARD FUNDS	235,000	NA	NA	NA	
<b>TOTAL REVENUES</b>	<b>13,197,800</b>	<b>NA</b>	<b>NA</b>	<b>NA</b>	
<b>UTILITY FUND EXPENDITURE SUMMARY</b>					
UTILITY ADMINISTRATION	480,006	43,000	268,712	55.98%	
UTILITIES - WATER	1,860,373	141,567	1,089,793	58.58%	
CITY ENGINEER	564,635	36,294	306,545	54.29%	
UTILITIES - SEWER	720,733	37,537	371,942	51.61%	
UTILITY BILLING	303,604	24,661	200,895	66.17%	
COMBINED SERVICES	12,154,742	684,362	8,527,811	70.16%	<b>I</b>
<b>TOTAL EXPENDITURES</b>	<b>16,084,093</b>	<b>967,421</b>	<b>10,765,697</b>	<b>66.93%</b>	
<b>REVENUES OVER/(UNDER) EXPENDITURES</b>	<b>-2,886,293</b>	<b>178,852</b>	<b>-2,700,455</b>	<b>-4.17%</b>	
G. Most Utility Fund Revenue billed in October was applicable to FY 2014-15. YTD total represents only 7 months of billings. H. Use of Fund Balance: Includes Hardware/Software to implement the GIS program. I. Due to annual transfer to the General Fund. This will level out over the remainder of the fiscal year.					



# Wylie City Council

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## AGENDA REPORT

Meeting Date: June 28, 2016  
Department: WEDC  
Prepared By: Angel Wygant  
Date Prepared: June 17, 2016

Item Number: E  
*(City Secretary's Use Only)*  
Account Code: \_\_\_\_\_  
Budgeted Amount: \_\_\_\_\_  
Exhibits: 1

### Subject

Consider and place on file, the monthly Revenue and Expenditure Report for the Wylie Economic Development Corporation as of May 31, 2016.

### Recommendation

Motion to approve, the monthly Revenue and Expenditure Report for the Wylie Economic Development Corporation as of May 31, 2016.

### Discussion

The Wylie Economic Development Corporation (WEDC) Board of Directors approved the attached financials on June 17, 2016.

111-WYLIE ECONOMIC DEVEL CORP

ACCOUNT# TITLE

ASSETS

1000-10110	CLAIM ON CASH & CASH EQUIV	1,046,981.88
1000-10115	CASH - WEDC - INWOOD	0.00
1000-10135	ESCROW	0.00
1000-10180	DEPOSITS	7,000.00
1000-10198	OTHER - MISC CLEARING	0.00
1000-10341	TEXPOOL	0.00
1000-10343	LOGIC	0.00
1000-10481	INTEREST RECEIVABLE	0.00
1000-11511	ACCTS REC - MISC	0.00
1000-11517	ACCTS REC - SALES TAX	0.00
1000-12810	LEASE PAYMENTS RECEIVABLE	0.00
1000-12950	LOAN PROCEEDS RECEIVABLE	0.00
1000-12996	LOAN RECEIVABLE	66,242.56
1000-12997	ACCTS REC - JTM TECH	0.00
1000-12998	ACCTS REC - FORGIVEABLE LOANS	533,333.33
1000-14112	INVENTORY - MATERIAL/ SUPPLY	0.00
1000-14116	INVENTORY - LAND & BUILDINGS	6,280,054.92
1000-14118	INVENTORY - BAYCO/ SANDEN BLVD	0.00
1000-14310	PREPAID EXPENSES - MISC	0.00
1000-14410	DEFERRED OUTFLOWS	657,173.00
		<hr/>
		8,590,785.69

TOTAL ASSETS

---

8,590,785.69LIABILITIES

2000-20110	FEDERAL INCOME TAX PAYABLE	0.00
2000-20111	MEDICARE PAYABLE	0.00
2000-20112	CHILD SUPPORT PAYABLE	0.00
2000-20113	CREDIT UNION PAYABLE	0.00
2000-20114	IRS LEVY PAYABLE	0.00
2000-20115	NATIONWIDE DEFERRED COMP	0.00
2000-20116	HEALTH INSUR PAY-EMPLOYEE	0.20
2000-20117	TMRs PAYABLE	0.00
2000-20118	ROTH IRA PAYABLE	0.00
2000-20119	WORKERS COMP PAYABLE	0.00
2000-20120	FICA PAYABLE	0.00
2000-20121	TEC PAYABLE	0.00
2000-20122	STUDENT LOAN LEVY PAYABLE	0.00
2000-20123	ALIMONY PAYABLE	0.00
2000-20124	BANKRUPTCY PAYABLE	0.00
2000-20125	VALIC DEFERRED COMP	0.00
2000-20126	ICMA PAYABLE	0.00
2000-20127	EMP. LEGAL SERVICES PAYABLE	0.00
2000-20130	FLEXIBLE SPENDING ACCOUNT	0.00
2000-20131	EDWARD JONES DEFERRED COMP	0.00
2000-20132	EMP CARE FLITE	12.00
2000-20151	ACCRUED WAGES PAYABLE	0.00
2000-20180	ADDIT EMPLOYEE INSUR PAY	0.00
2000-20199	MISC PAYROLL PAYABLE	0.00

111-WYLIE ECONOMIC DEVEL CORP

ACCOUNT#	TITLE		
2000-20201	AP PENDING		4,366.64
2000-20210	ACCOUNTS PAYABLE	(	1,186.56)
2000-20530	PROPERTY TAXES PAYABLE		0.00
2000-20540	NOTES PAYABLE		657,173.00
2000-20810	DUE TO GENERAL FUND		0.00
2000-22270	DEFERRED INFLOW		261,242.56
2000-22275	DEF INFLOW - LEASE PRINCIPAL		0.00
2000-22280	DEFERRED INFLOW - LEASE INT		0.00
2000-22915	RENTAL DEPOSITS		2,500.00
	TOTAL LIABILITIES		<u>924,107.84</u>
EQUITY			
*****			
3000-34110	FUND BALANCE - RESERVED		0.00
3000-34590	FUND BALANCE-UNRESERV/UNDESIG		7,984,197.60
	TOTAL BEGINNING EQUITY		<u>7,984,197.60</u>
	TOTAL REVENUE		1,254,403.70
	TOTAL EXPENSES		1,571,923.45
	REVENUE OVER/(UNDER) EXPENSES	(	317,519.75)
	TOTAL EQUITY & OVER/(UNDER)		<u>7,666,677.85</u>
	TOTAL LIABILITIES, EQUITY & OVER/(UNDER)		<u>8,590,785.69</u> *****

922-GEN LONG TERM DEBT (WEDC)

ACCOUNT#	TITLE		
<b>ASSETS</b>			
=====			
1000-10312	GOVERNMENT NOTES	0.00	
1000-18110	LOAN - WEDC	0.00	
1000-18120	LOAN - BIRMINGHAM	0.00	
1000-18210	AMOUNT TO BE PROVIDED	0.00	
1000-18220	BIRMINGHAM LOAN	0.00	
1000-19050	DEF OUTFLOW - CONTRIBUTIONS	23,447.00	
1000-19075	DEF OUTFLOW - INVESTMENT EXP	5,062.00	
1000-19100	DEF OUTFLOW - ACT EXP/ASSUMP	2,154.00	
			30,663.00
			-----
TOTAL ASSETS			30,663.00
			-----
<b>LIABILITIES</b>			
=====			
2000-20310	COMPENSATED ABSENCES PAYABLE	44,287.86	
2000-20311	COMP ABSENCES PAYABLE-CURRENT	0.00	
2000-21410	ACCRUED INTEREST PAYABLE	4,018.84	
2000-28205	WEDC LOANS/CURRENT	162,192.00	
2000-28220	BIRMINGHAM LOAN	0.00	
2000-28230	INWOOD LOAN	0.00	
2000-28232	ANB LOAN/EDGE	1,685,000.00	
2000-28233	ANB LOAN/PEDDICORD WHITE	616,779.19	
2000-28234	ANB LOAN/RANDACK HUGHES	138,838.31	
2000-28235	ANB LOAN	0.00	
2000-28236	ANB CONSTRUCTION LOAN	0.00	
2000-28237	ANB LOAN/ WOODBRIDGE PARKWAY	690,867.94	
2000-28238	ANB LOAN/BUCHANAN	242,652.56	
2000-28239	ANB LOAN/JONES:HOBART PAYOFF	296,438.73	
2000-28240	HUGHES LOAN	0.00	
2000-28250	CITY OF WYLIE LOAN	0.00	
2000-28260	PRIME KUTS LOAN	0.00	
2000-28270	BOWLAND/ANDERSON LOAN	0.00	
2000-28280	CAPITAL ONE CAZAD LOAN	0.00	
2000-28290	HOBART/COMMERCE LOAN	0.00	
2000-29150	NET PENSION LIABILITY	147,106.00	
			4,028,181.43
			-----
TOTAL LIABILITIES			4,028,181.43
			-----
<b>EQUITY</b>			
=====			
3000-34590	FUND BALANCE-UNRESERV/UNDESIG(	2,525,176.19)	
3000-35900	UNRESTRICTED NET POSITION	( 114,969.00)	
	TOTAL BEGINNING EQUITY	( 2,640,145.19)	
	TOTAL REVENUE	( 1,685,000.00)	
	TOTAL EXPENSES	( 327,626.76)	
	REVENUE OVER/(UNDER) EXPENSES	( 1,357,373.24)	
	TOTAL EQUITY & OVER/(UNDER)	( 3,997,518.43)	

922-GEN LONG TERM DEBT (WEDC)

ACCOUNT#            TITLE

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TOTAL LIABILITIES, EQUITY & OVER/ (UNDER)

30,663.00

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CITY OF WYLIE  
 REVENUE AND EXPENSE REPORT - (UNAUDITED)  
 AS OF: MAY 31ST, 2016

111-WYLIE ECONOMIC DEVEL CORP  
 FINANCIAL SUMMARY

	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
<u>REVENUE SUMMARY</u>							
TAXES	2,257,829.00	238,646.10	0.00	1,150,695.79	0.00	1,107,133.21	50.96
INTERGOVERNMENTAL REV.	0.00	0.00	0.00	0.00	0.00	0.00	0.00
INTEREST INCOME	12,958.00	1,156.10	0.00	8,936.08	0.00	4,021.92	68.96
MISCELLANEOUS INCOME	141,200.00	6,550.00	0.00	( 1,590,228.17)	0.00	1,731,428.17	126.22-
OTHER FINANCING SOURCES	0.00	0.00	0.00	1,685,000.00	0.00	( 1,685,000.00)	0.00
<b>TOTAL REVENUES</b>	<b>2,411,987.00</b>	<b>246,352.20</b>	<b>0.00</b>	<b>1,254,403.70</b>	<b>0.00</b>	<b>1,157,583.30</b>	<b>52.01</b>
<u>EXPENDITURE SUMMARY</u>							
DEVELOPMENT CORP-WEDC	3,858,411.00	114,338.43	0.00	1,571,923.45	781,911.20	1,504,576.35	61.01
<b>TOTAL EXPENDITURES</b>	<b>3,858,411.00</b>	<b>114,338.43</b>	<b>0.00</b>	<b>1,571,923.45</b>	<b>781,911.20</b>	<b>1,504,576.35</b>	<b>61.01</b>
<b>REVENUE OVER/(UNDER) EXPENDITURES</b>	<b>( 1,446,424.00)</b>	<b>132,013.77</b>	<b>0.00</b>	<b>( 317,519.75)</b>	<b>( 781,911.20)</b>	<b>( 346,993.05)</b>	<b>76.01</b>

CITY OF WYLIE  
REVENUE AND EXPENSE REPORT - (UNAUDITED)  
AS OF: MAY 31ST, 2016

111-WYLIE ECONOMIC DEVEL CORP  
REVENUES

	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
<u>TAXES</u>							
4000-40150 REV IN LEIU OF TAXES	0.00	0.00	0.00	0.00	0.00	0.00	0.00
4000-40210 SALES TAX	<u>2,257,829.00</u>	<u>238,646.10</u>	<u>0.00</u>	<u>1,150,695.79</u>	<u>0.00</u>	<u>1,107,133.21</u>	<u>50.96</u>
TOTAL TAXES	2,257,829.00	238,646.10	0.00	1,150,695.79	0.00	1,107,133.21	50.96
<u>INTERGOVERNMENTAL REV.</u>							
4000-43518 380 ECONOMIC AGREEMENTS	0.00	0.00	0.00	0.00	0.00	0.00	0.00
TOTAL INTERGOVERNMENTAL REV.	0.00	0.00	0.00	0.00	0.00	0.00	0.00
<u>INTEREST INCOME</u>							
4000-46050 CERTIFICATE OF DEPOSIT	0.00	0.00	0.00	0.00	0.00	0.00	0.00
4000-46110 ALLOCATED INTEREST EARNINGS	1,000.00	159.61	0.00	964.16	0.00	35.84	96.42
4000-46140 TEXPOOL INTEREST	0.00	0.00	0.00	0.00	0.00	0.00	0.00
4000-46143 LOGIC INTEREST	0.00	0.00	0.00	0.00	0.00	0.00	0.00
4000-46150 INTEREST EARNINGS	3,817.00	279.00	0.00	2,314.68	0.00	1,502.32	60.64
4000-46160 LOAN REPAYMENT (PRINCIPAL)	8,141.00	717.49	0.00	5,657.24	0.00	2,483.76	69.49
4000-46210 BANK MONEY MARKET INTEREST	0.00	0.00	0.00	0.00	0.00	0.00	0.00
TOTAL INTEREST INCOME	12,958.00	1,156.10	0.00	8,936.08	0.00	4,021.92	68.96
<u>MISCELLANEOUS INCOME</u>							
4000-48110 RENTAL INCOME	141,200.00	6,550.00	0.00	91,900.00	0.00	49,300.00	65.08
4000-48310 RECOVERY - PRIOR YEAR EXPEN	0.00	0.00	0.00	0.00	0.00	0.00	0.00
4000-48410 MISCELLANEOUS INCOME	0.00	0.00	0.00	( 100.00)	0.00	100.00	0.00
4000-48430 GAIN/(LOSS) SALE OF CAP ASS	0.00	0.00	0.00	( 1,682,028.17)	0.00	1,682,028.17	0.00
TOTAL MISCELLANEOUS INCOME	141,200.00	6,550.00	0.00	( 1,590,228.17)	0.00	1,731,428.17	126.22-
<u>OTHER FINANCING SOURCES</u>							
4000-49160 TRANSFER FROM GENERAL FUND	0.00	0.00	0.00	0.00	0.00	0.00	0.00
4000-49325 BANK NOTE PROCEEDS	0.00	0.00	0.00	1,685,000.00	0.00	( 1,685,000.00)	0.00
4000-49550 LEASE PRINCIPAL PAYMENTS (O	0.00	0.00	0.00	0.00	0.00	0.00	0.00
4000-49600 INSURANCE RECOVERIES	0.00	0.00	0.00	0.00	0.00	0.00	0.00
TOTAL OTHER FINANCING SOURCES	0.00	0.00	0.00	1,685,000.00	0.00	( 1,685,000.00)	0.00
<hr/>							
TOTAL REVENUES	<u>2,411,987.00</u>	<u>246,352.20</u>	<u>0.00</u>	<u>1,254,403.70</u>	<u>0.00</u>	<u>1,157,583.30</u>	<u>52.01</u>

CITY OF WYLIE  
REVENUE AND EXPENSE REPORT - (UNAUDITED)  
AS OF: MAY 31ST, 2016

111-WYLIE ECONOMIC DEVEL CORP  
DEVELOPMENT CORP-WEDC  
DEPARTMENTAL EXPENDITURES

	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
<u>PERSONNEL SERVICES</u>							
5611-51110 SALARIES	238,052.00	19,257.70	0.00	143,148.04	0.00	94,903.96	60.13
5611-51130 OVERTIME	0.00	0.00	0.00	0.00	0.00	0.00	0.00
5611-51140 LONGEVITY PAY	1,073.00	0.00	0.00	1,024.00	0.00	49.00	95.43
5611-51145 SICK LEAVE BUYBACK	0.00	0.00	0.00	0.00	0.00	0.00	0.00
5611-51160 CERTIFICATION INCENTIVE	0.00	0.00	0.00	0.00	0.00	0.00	0.00
5611-51170 PARAMEDIC INCENTIVE	0.00	0.00	0.00	0.00	0.00	0.00	0.00
5611-51210 CAR ALLOWANCE	12,600.00	986.18	0.00	7,827.63	0.00	4,772.37	62.12
5611-51220 PHONE ALLOWANCE	4,656.00	0.00	0.00	3,192.00	0.00	1,464.00	68.56
5611-51230 CLOTHING ALLOWANCE	0.00	0.00	0.00	0.00	0.00	0.00	0.00
5611-51260 MOVING ALLOWANCE	5,000.00	0.00	0.00	0.00	0.00	5,000.00	0.00
5611-51310 TMRS	36,677.00	2,949.56	0.00	21,977.99	0.00	14,699.01	59.92
5611-51410 HOSPITAL & LIFE INSURANCE	38,107.00	2,529.38	0.00	17,613.00	0.00	20,494.00	46.22
5611-51415 EXECUTIVE HEALTH PLAN	0.00	0.00	0.00	0.00	0.00	0.00	0.00
5611-51420 LONG-TERM DISABILITY	1,357.00	77.01	0.00	596.57	0.00	760.43	43.96
5611-51440 FICA	15,607.00	1,220.50	0.00	7,076.02	0.00	8,530.98	45.34
5611-51450 MEDICARE	3,650.00	285.44	0.00	2,150.03	0.00	1,499.97	58.90
5611-51470 WORKERS COMP PREMIUM	663.00	0.00	0.00	637.47	0.00	25.53	96.15
5611-51480 UNEMPLOYMENT COMP (TWC)	810.00	0.00	0.00	513.00	0.00	297.00	63.33
TOTAL PERSONNEL SERVICES	358,252.00	27,305.77	0.00	205,755.75	0.00	152,496.25	57.43
<u>SUPPLIES</u>							
5611-52010 OFFICE SUPPLIES	3,500.00	24.07	0.00	1,137.58	0.00	2,362.42	32.50
5611-52040 POSTAGE & FREIGHT	980.00	10.08	0.00	46.58	0.00	933.42	4.75
5611-52130 TOOLS/ EQUIP (NON-CAPITAL)	0.00	0.00	0.00	0.00	0.00	0.00	0.00
5611-52810 FOOD SUPPLIES	2,000.00	170.82	0.00	840.09	0.00	1,159.91	42.00
5611-52990 OTHER	5,000.00	0.00	0.00	0.00	0.00	5,000.00	0.00
TOTAL SUPPLIES	11,480.00	204.97	0.00	2,024.25	0.00	9,455.75	17.63
<u>MATERIALS FOR MAINTENANC</u>							
5611-54630 TOOLS & EQUIPMENT	0.00	0.00	0.00	0.00	0.00	0.00	0.00
5611-54810 COMPUTER HARD/SOFTWARE	3,000.00	1,222.35	0.00	3,795.15	0.00	795.15	126.51
5611-54990 OTHER	0.00	0.00	0.00	0.00	0.00	0.00	0.00
TOTAL MATERIALS FOR MAINTENANC	3,000.00	1,222.35	0.00	3,795.15	0.00	795.15	126.51
<u>CONTRACTUAL SERVICES</u>							
5611-56030 INCENTIVES	2,012,414.00	0.00	0.00	1,281,647.53	0.00	730,766.47	63.69
5611-56040 SPECIAL SERVICES	112,900.00	18,836.61	0.00	87,109.46	28,162.73	2,372.19	102.10
5611-56080 ADVERTISING	35,280.00	1,969.00	0.00	16,443.00	0.00	18,837.00	46.61
5611-56090 COMMUNITY DEVELOPMENT	47,250.00	9,334.01	0.00	29,149.02	0.00	18,100.98	61.69
5611-56110 COMMUNICATIONS	5,960.00	469.53	0.00	3,767.34	113.97	2,078.69	65.12
5611-56180 RENTAL	29,400.00	2,469.00	0.00	20,652.68	0.00	8,747.32	70.25
5611-56210 TRAVEL & TRAINING	29,450.00	1,300.28	0.00	16,502.05	0.00	12,947.95	56.03
5611-56250 DUES & SUBSCRIPTIONS	18,890.00	657.35	0.00	7,903.68	0.00	10,986.32	41.84
5611-56310 INSURANCE	4,310.00	2,824.32	0.00	2,149.31	0.00	2,160.69	49.87
5611-56510 AUDIT & LEGAL SERVICES	23,000.00	1,320.00	0.00	12,198.00	0.00	10,802.00	53.03
5611-56570 ENGINEERING/ARCHITECTURAL	20,000.00	0.00	0.00	9,842.21	0.00	10,157.79	49.21
5611-56610 UTILITIES-ELECTRIC	4,500.00	377.37	0.00	3,449.91	0.00	1,050.09	76.66
TOTAL CONTRACTUAL SERVICES	2,343,354.00	33,154.09	0.00	1,490,814.19	28,276.70	824,263.11	64.83

CITY OF WYLIE  
 REVENUE AND EXPENSE REPORT - (UNAUDITED)  
 AS OF: MAY 31ST, 2016

111-WYLIE ECONOMIC DEVEL CORP  
 DEVELOPMENT CORP-WEDC  
 DEPARTMENTAL EXPENDITURES

	CURRENT BUDGET	CURRENT PERIOD	PRIOR YEAR PO ADJUST.	Y-T-D ACTUAL	Y-T-D ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET
<u>DEBT SERVICE &amp; CAP. REPL</u>							
5611-57110 DEBT SERVICE	686,825.00	0.00	0.00	0.00	0.00	686,825.00	0.00
5611-57410 PRINCIPAL PAYMENT	0.00	40,355.79	0.00	327,281.39	0.00	( 327,281.39)	0.00
5611-57415 INTEREST EXPENSE	0.00	12,095.46	0.00	87,012.02	0.00	( 87,012.02)	0.00
5611-57710 BAD DEBT EXPENSE	0.00	0.00	0.00	0.00	0.00	0.00	0.00
TOTAL DEBT SERVICE & CAP. REPL	686,825.00	52,451.25	0.00	414,293.41	0.00	272,531.59	60.32
<u>CAPITAL OUTLAY</u>							
5611-58110 LAND-PURCHASE PRICE	200,000.00	0.00	0.00	1,761,673.50	753,634.50	( 2,315,308.00)	257.65
5611-58120 DEVELOPMENT FEES	0.00	0.00	0.00	0.00	0.00	0.00	0.00
5611-58150 LAND-BETTERMENTS	0.00	0.00	0.00	0.00	0.00	0.00	0.00
5611-58210 STREETS & ALLEYS	0.00	0.00	0.00	0.00	0.00	0.00	0.00
5611-58410 SANITARY SEWER	0.00	0.00	0.00	0.00	0.00	0.00	0.00
5611-58810 COMPUTER HARD/SOFTWARE	3,000.00	0.00	0.00	4,633.02	0.00	( 1,633.02)	154.43
5611-58830 FURNITURE & FIXTURES	2,500.00	0.00	0.00	1,343.01	0.00	1,156.99	53.72
5611-58910 BUILDINGS	250,000.00	0.00	0.00	0.00	0.00	250,000.00	0.00
5611-58995 CONTRA CAPITAL OUTLAY	0.00	0.00	0.00	( 2,312,408.83)	0.00	2,312,408.83	0.00
TOTAL CAPITAL OUTLAY	455,500.00	0.00	0.00	( 544,759.30)	753,634.50	246,624.80	45.86
<u>OTHER FINANCING (USES)</u>							
5611-59111 TRANSFER TO GENERAL FUND	0.00	0.00	0.00	0.00	0.00	0.00	0.00
5611-59190 TRANSFER TO THOROUGHFARE IMP	0.00	0.00	0.00	0.00	0.00	0.00	0.00
5611-59430 TRANSFER TO CAPITAL FUND	0.00	0.00	0.00	0.00	0.00	0.00	0.00
5611-59990 PROJECT ACCOUNTING	0.00	0.00	0.00	0.00	0.00	0.00	0.00
TOTAL OTHER FINANCING (USES)	0.00	0.00	0.00	0.00	0.00	0.00	0.00
TOTAL DEVELOPMENT CORP-WEDC	3,858,411.00	114,338.43	0.00	1,571,923.45	781,911.20	1,504,576.35	61.01
TOTAL EXPENDITURES	<u>3,858,411.00</u>	<u>114,338.43</u>	<u>0.00</u>	<u>1,571,923.45</u>	<u>781,911.20</u>	<u>1,504,576.35</u>	<u>61.01</u>
REVENUE OVER (UNDER) EXPENDITURES	( 1,446,424.00)	132,013.77	0.00	( 317,519.75)	( 781,911.20)	( 346,993.05)	76.01

\*\*\* END OF REPORT \*\*\*

Wylie Economic Development Corporation  
 Balance Sheet Sub Ledger  
 May 31, 2016

**Notes Payable**

		Date of Purchase	Payment	Beginning Bal.	Principal	Interest	Rate of Interest	Principal Balance
May 1, 2016								3,873,038.77
ANBTX - 88130968	HUGHES/RANDACK(42 of 60)	10/23/12	10,107.00	186,449.06	9,486.77	620.23	3.99	176,962.29
ANBTX -88130976	WOODBIDGE PKWY (#21 of 60)	8/15/14	13,267.93	749,157.54	11,638.51	1,629.42	2.61	737,519.03
ANBTX -88148481	BUCHANAN (#21 of 60)	8/13/14	7,331.95	275,193.29	6,467.38	864.57	3.77	268,725.91
ANBTX - 88149711	PEDDICORD / WHITE (#17 OF 120)	12/12/14	7,382.45	642,625.79	5,133.26	2,249.19	4.20	637,492.53
ANBTX - 88158043	K&M / HOBART (8 of 48)	9/2/15	8,745.25	334,613.09	7,629.87	1,115.38	4.00	326,983.22
ANBTX - 88157334	LINDUFF/EDGE (8 of 9 Interest only)	10/21/15	5,616.67	1,685,000.00	0.00	5,616.67	4.00	1,685,000.00
May 31, 2016					\$40,355.79	\$12,095.46		3,832,682.98

Note: Principal and Interest payments vary by date of payment.

\* Balance adjusted \$514.68 at payoff of ANBTX - 88122627 (Martinez)

Wylie Economic Development Corporation  
Inventory Subledger  
May 31, 2016

**Inventory - Land**

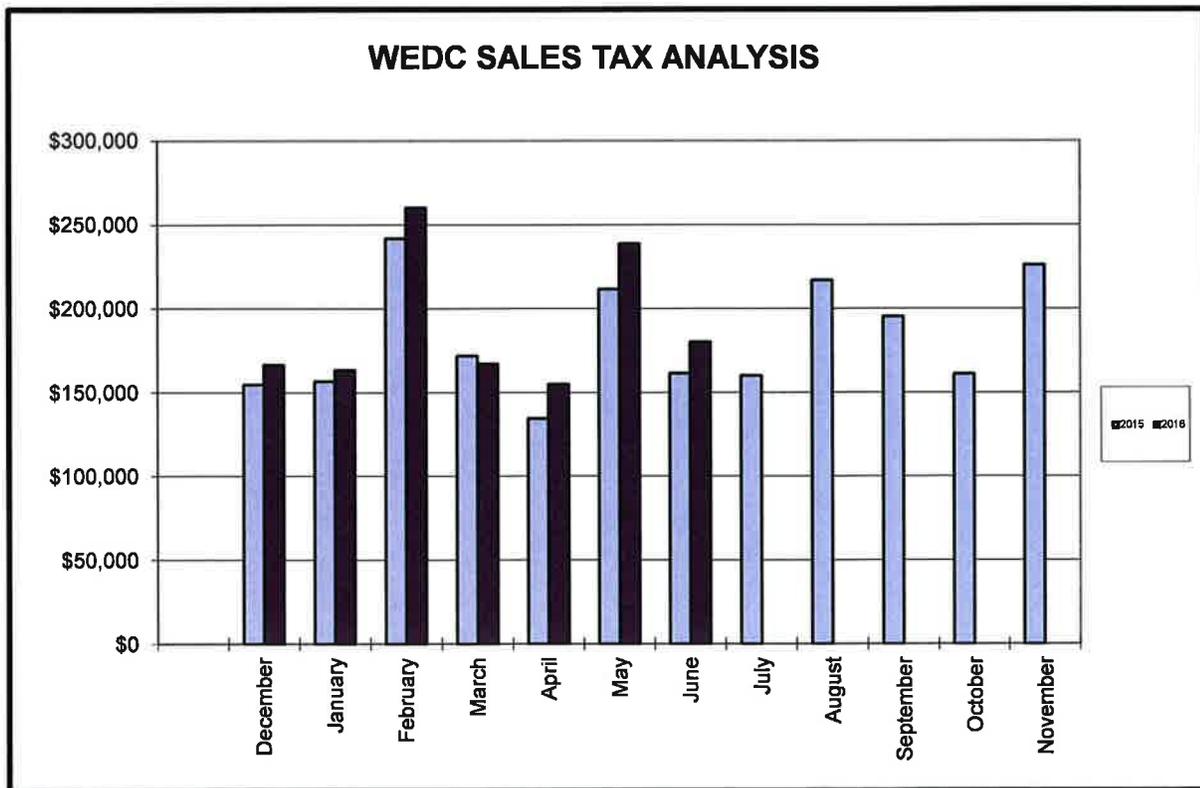
		Date of Pur.	Address	Acreage	Improvements		Cost Basis	Sub-totals
<b>Cooper</b>	McMasters	7/12/05	709 Cooper	0.48		n/a	\$202,045	
	Heath	12/28/05	706 Cooper	0.46	\$32,005	3,625	186,934	
	Perry	9/13/06	707 Cooper	0.49		Demo	200,224	
	Bowland/Anderson	10/9/07	Cooper Dr.	0.37		n/a	106,419	
	KCS	8/1/08	Cooper Dr.	0.41		n/a	60,208	
	Duel Products	9/7/12	704 Cooper Dr.	0.50		n/a	127,452	
	Randack	10/23/12	711-713 Cooper Dr.	1.09	217,500	8,880	400,334	
	Lot 2R3	7/24/14	Cooper Dr.	0.95		n/a	29,056	\$1,312,672
<b>Industrial Ct.</b>	Hughes	7/25/06	211 - 212 Industrial	0.74	209,801	10,000	420,361	
			R.O.W.	0.18			41,585	
	Prime Kuts	10/8/07	207 Industrial	0.20	182,223	4,550	229,284	
			R.O.W.	0.11		n/a	77,380	
	Cazad	3/17/08	210 Industrial	0.27	128,083	3,900	200,782	
	Buchanan	8/13/14	400 S. Hwy 78	1.25	68,294	12,750	503,233	
	Glenn	4/24/15	209 Industrial Ct	0.18	69,426	2,900	326,773	
			R.O.W.	0.12		n/a		
Mann Made	2/10/16	398 S. Hwy 78	1.23	182,784	15,000	750,244		
C.O.W	4/13/16	R.O.W.	0.29		n/a	52,653	2,602,295	
<b>Regency</b>	Regency Pk.	6/4/10	25 Steel Road	0.65		n/a	25,171	25,171
<b>Commerce</b>	Hobart Investments	11/12/13	Commerce	1.60		n/a	156,820	
	Hobart	1/6/14	605 Commerce	1.07	396,263	20,000	386,380	543,200
<b>Jackson</b>	Heath	3/17/14	104 N. Jackson	0.17		Demo	220,034	
	Udoh	2/12/14	109 Marble	0.17		n/a	70,330	
	Peddicord	12/12/14	108/110 Jackson	0.35	155,984	4,444	486,032	
	City Lot	12/12/14	100 W. Oak St	0.35		n/a		
	Jones (K&M)	9/3/15	106 N. Birmingham	0.21	42,314	4,125	190,596	966,992
<b>Alanis</b>	White Property (Alanis)	12/12/14	Alanis	6.63		n/a	420,336	420,336
<b>South Ballard</b>	Birmingham Trust	6/3/15	505 - 607 S. Ballard	0.95		Demo	409,390	409,390
Total				21.45	\$1,684,677	90,174	\$6,280,055	\$6,280,055

\*A Journal entry was made by auditors to adjust the cost of the Hughes land by \$4,638.79. This amount was for taxes owed and not part of land value.

\*Prime Kuts total purchase price was \$306,664.45. The distribution between 207 Industrial and R.O.W. purchased was developed by Seller for tax purposes.

**WYLIE ECONOMIC DEVELOPMENT CORPORATION  
SALES TAX REVENUE  
FOR THE MONTH OF JUNE 2016**

MONTH	WEDC 2014	WEDC 2015	WEDC 2016	DIFF 15 VS 16	% DIFF 15 VS 16
DECEMBER	\$134,371	\$154,719	\$166,418	\$11,700	7.56%
JANUARY	128,968	156,685	163,463	6,778	4.33%
FEBRUARY	213,877	241,858	260,166	18,309	7.57%
MARCH	121,483	171,741	167,082	-4,659	-2.71%
APRIL	124,866	134,475	154,920	20,445	15.20%
MAY	200,476	211,645	238,646	27,002	12.76%
JUNE	145,137	161,426	180,194	18,768	11.63%
JULY	149,537	159,973			
AUGUST	193,751	216,962			
SEPTEMBER	154,328	195,347			
OCTOBER	152,545	160,876			
NOVEMBER	213,292	226,078			
Sub-Total	\$1,932,632	\$2,191,785	\$1,330,890	\$98,342	7.98%
AUDIT ADJ					
TOTAL	\$1,932,632	\$2,191,785	\$1,330,890	\$98,342	7.98%





# Wylie City Council

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## AGENDA REPORT

**Meeting Date:** June 28, 2016  
**Department:** Planning  
**Prepared By:** Renae' Ollie  
**Date Prepared:** June 16, 2016

**Item Number:** 1  
*(City Secretary's Use Only)*  
**Account Code:** \_\_\_\_\_  
**Budgeted Amount:** \_\_\_\_\_  
**Exhibits:** 1

### Subject

Hold a Public Hearing and consider, and act upon amending regulations to Zoning Ordinance 2008-47, Article 6, Section 6.3 Downtown Historic District (DTH) as it relates to design guidelines and standards within the Downtown Historic District. **ZC 2016-07**

### Recommendation

Motion to approve amending regulations to Zoning Ordinance 2008-47, Article 6, Section 6.3 Downtown Historic District (DTH) as it relates to design guidelines and standards within the Downtown Historic District. **ZC 2016-07**

### Discussion

The City Council has declared as a matter of ordinance that the preservation, protection, and use of landmarks and historic districts is a public necessity because they have a special character or a special historic, architectural, aesthetic, or cultural interest and value and thus serve as visible reminders of the history and heritage of the City of Wylie.

In early 2015, the Historic Review Commission (HRC) directed Staff to consider amendments to the DTH ordinance to provide for more stringent guidelines within the Ordinance to require more period specific design. Through the course of several work sessions, the HRC developed such amendments that would better clarify the design guidelines for new development within the district. This included defining contributing and non-contributing structures.

Contributing structures would be those buildings built between the period of significance (1890-1940) and adds to the overall historic integrity and architectural quality of the district.

Non-contributing structures are existing buildings within the district that does not contribute to the historic character and usually constructed after the period of significance.

The current ordinance defines Substantial Renovations as alterations to the exterior of existing buildings that change the placement or design of windows, doors or other exterior features of the building such as coping or pilasters. The Commission is recommending that the change of exterior paint also be included as a substantial renovation. This would require HRC approval of any exterior color. In addition, the recommendation is also to restrict any like color from being repeated on both sides of the street and adjoining streets.

The ordinance was categorized by New Structures and Existing Structures for both commercial and residential uses. A primary function of the ordinance is to distinguish between standards and guidelines.

STANDARDS are more objective, measurable regulations (illustrations/diagrams), while GUIDELINES are more subjective statements through which the City proposes additional design strategies. Design Guidelines should be suitable for most projects and followed to the extent possible.

Article 6.3 is attached as Exhibit “A” and includes highlights showing current regulations (black) and proposed (blue; red for deletions).

Notices were mailed out to 179 property owners within the DTH to notify them of the proposed amendments and the meeting dates.

**PLANNING & ZONING COMMISSION DISCUSSION:**

The Commissioners asked if primary construction was new development or renovations. Staff stated that most of the development is renovation of existing structures. The Commissioners voted 6-0 to recommend approval.

## ARTICLE 6 SPECIAL PURPOSE AND OVERLAY DISTRICTS

### SECTION 6.3 DOWNTOWN HISTORIC DISTRICT (DTH)

#### A. *Purpose*

Wylie's downtown has been identified by the Comprehensive Plan as a valuable resource worthy of preservation as a historic district. This district provides development and design standards that preserve the historic and architectural character of existing development, provides for adaptive reuse of existing buildings and the compatibility of new structures and uses with the historic nature of downtown.

A non-contributing building and/or structure means a building not contributing to the historic significance of the district and does not add to the district's sense of time and place, and historical development; or one where the location, design, setting, materials, workmanship, feeling, and association have been so altered or have so deteriorated that the overall integrity of the building has been irretrievably lost. Typically, contributing structures are older than 50 years. Typically, non-contributing structures are less than 50 years old. **For the purposes of this section, a contributing structure shall be those structures built prior to the World War II.**

#### **PERIOD OF SIGNIFICANCE: 1890-1940**

**CONTRIBUTING STRUCTURES:** Any building within a historic district that adds to the overall historic integrity and architectural quality of the district.

**NON-CONTRIBUTING STRUCTURES:** An existing building within a historic district that does not contribute to the historic character of the district. These buildings were usually constructed after the era of significance. (1890-1940).

Architectural Styles that are prominent or important to the City of Wylie vary in style and form. New structures and major renovations should be compatible with these existing styles. (Virginia Savage McAlester's book "A *Field Guide to American Houses*" would be an appropriate reference).

- Victorian (1860-1900)
  - **Architectural Precedent:** National Folk, Queen Anne, Italianate
  - **Roof Type:** Asphalt/ fiberglass shingles
  - **Roof Forms:** Steep pitched of irregular shape, dominant front-gabled, gable front and wing, side-gabled, pyramidal with moderate pitch.
  - **Heights:** One and two stories
  - **Eave:** Boxed or open
  - **Building Materials:** Wood siding, patterned wood shingles
  - **Detailing:** Porches with spindlework detailing and jigsaw cut trim. Lace-like spandrels and turned balusters may be used in porch railings and in friezes suspended from the porch ceiling. Window surrounds may have simple pediments above
  - **Other Features:** Spindlework details and jigsaw cut trim is sometimes used in

the gables.

- Arts and Crafts (1870 – 1920)
  - **Architectural Precedent:** English Arts and Crafts movement, oriental wooden architecture, and the manual arts
  - **Roof Type:** Asphalt/ fiberglass shingles
  - **Roof Forms:** Front, cross, side, or hipped gabled roofs with low-moderate pitch
  - **Heights:** One and one-half to two stories
  - **Eave:** Intermediate too deep with or without exposed rafter tails
  - **Building Materials:** Wood weatherboards or shake is most common; stone, brick, concrete block, and stucco are also used
  - **Detailing:** Columns for supporting the porch roofs are a distinctive and variable detail. Typically short, square upper columns rest upon more massive piers, or upon a solid porch balustrade. Roof timbers either extend through the wall to support the eave or false rafter ends are added
  - **Other Features:** Craftsman doors and windows are similar to those used in Vernacular Prairie houses.
- Transitional
  - A mix of architectural styles, like Queen Anne derivatives with classical revival elements.
- Minimal Traditional (1935 – 1950)
  - The Minimal Traditional structure has almost no overhangs and more often a gabled roof, double-hung windows and minimal architectural details.
- Colonial Revival (1880 - 1955)
  - Accentuated front door with decorative crown supported by pilasters. Can be asymmetrical with varied roof types.
- Georgian (1700 – 1780; locally to ca. 1830)
  - Paneled front door, usually centered and capped by an elaborate decorative crown supported by decorative pilasters. Typically a simple one or two story box with varied roof types.
- Texas Folk Houses – built to provide basic shelter with little regard for changing fashion. They are strongly influenced by geography than by architectural styles.
  - Full-width, shed-roofed front porch,
  - Simple roof forms (pyramidal, gables or hip roofs)

## **B. District Boundaries**

1. The Downtown Historic District (DTH) is generally bounded by State Highway 78 on the south, Cottonbelt Avenue on the west, from Eliot Street to Brown Street, and including property north of Brown Street on Keefer, and to the eastern property line of those lots facing west on Second Street from Brown Street to the north and Marble Street to the south, and those properties north of Brown Street along Ballard Avenue facing east and

continuing north to Tract 4 of the Samuel B. Shelby Abstract and approximately 100 feet of frontage of those lots facing west and continuing north parallel to Ballard Avenue and encompassing all of Block 1, Lot 5 of the Russell #01 Addition and Block 1, Tract 49 of the James Truett Abstract.

2. The precise boundaries of the Downtown Historic District shall be shown on the official zoning map of the City of Wylie. The boundaries of the Downtown Historic District may be amended from time to time based on a request from area property owners, a request of the staff, the Commission, or at the pleasure of the Council. In considering a request for a change in district boundaries, the Council shall require:
  - a. Any additions to the district shall be contiguous to the existing boundaries of the district;
  - b. Any reductions in the district shall be located on the edge of the district such that a hole is not left inside the district; and
  - c. If requested by a property owner, a petition shall be presented showing owners of more than 50 percent of the land within the district, excluding streets, and owners of more than 50 percent of the building sites in the district are in support of the requested change in boundaries.

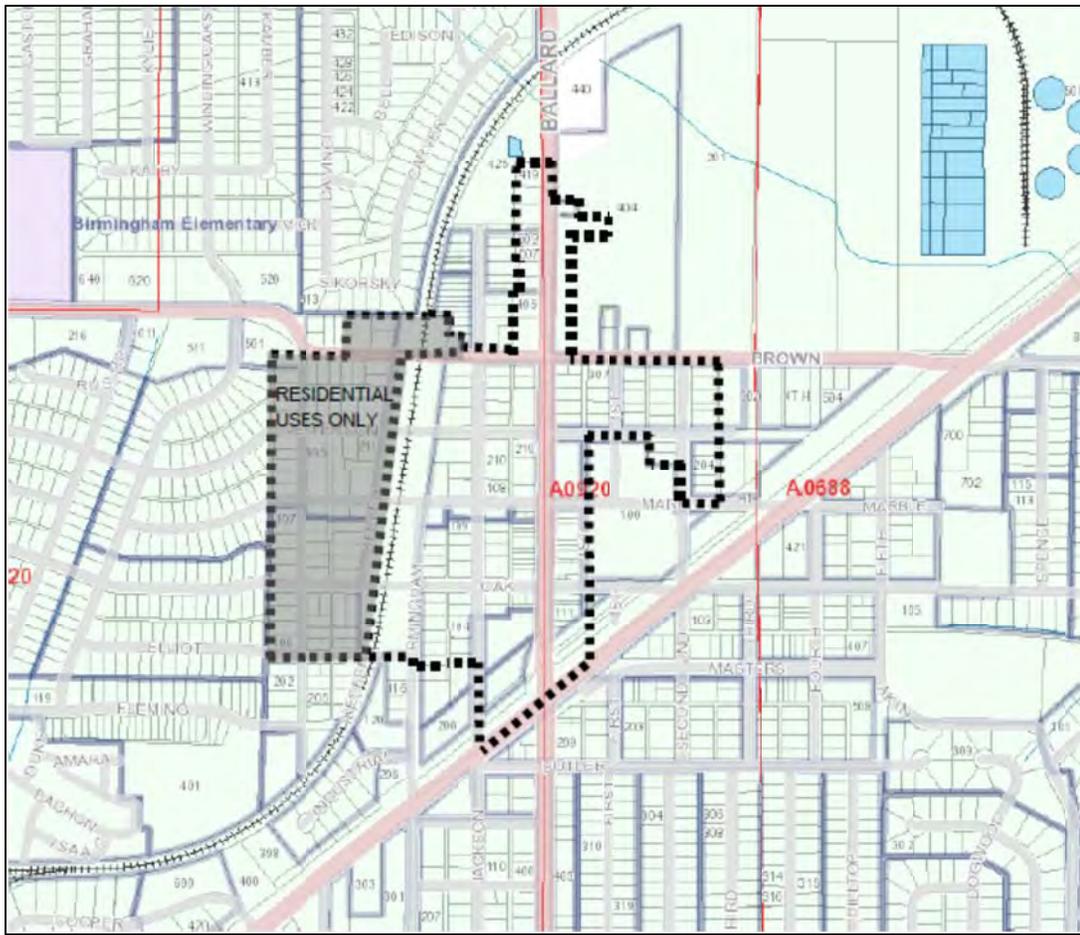


FIGURE 6-1 DOWNTOWN HISTORIC DISTRICT BOUNDARIES

**C. General Provisions**

1. Site plan and design review submitted to the Planning Department is required for new construction and substantial renovation of existing buildings within the Downtown Historic District. Substantial renovation means:
  - a) Alterations to the exterior of existing buildings that change the placement or design of windows, doors or other exterior features of the building such as coping or pilasters; **also includes exterior paint.**
  - b) An increase in the floor area of the building greater than 10 percent.
  - c) Adding new exterior building materials that do not match the existing materials.
  - d) Interior renovation of existing buildings that do not alter the exterior appearance of the building do not require site plan and design review under the provisions of this article. (e.g., a drop ceiling that covers part of an existing window would alter the exterior appearance and require review.)
  - e) Physical properties of an existing building such as setbacks, foot prints, height, or other similar characteristics that cannot be altered without substantial hardship are not required to meet the development or design standards within this article. All other provisions shall apply.

- ~~1. 2. Interior renovation of existing buildings that do not alter the exterior appearance of the building do not require site plan and design review under the provisions of this article. (e.g., a drop ceiling that covers part of an existing window would alter the exterior appearance and require review.)~~
- ~~3. Physical properties of an existing building such as setbacks, foot prints, height, or other similar characteristics that cannot be altered without substantial hardship are not required to meet the development or design standards within this article. All other provisions shall apply.~~
2. Historic Review Commission
  - a. **Establishment.** Historic Review Commission (HRC) shall be appointed by the City Council and shall consist of seven (7) members in accordance with Ordinance 2013-17, and as amended.
  - b. **Rules and Regulations.** The HRC will be responsible for reviewing and recommending an action to the Planning and Zoning Commission and/or the City Council for proposed new construction or substantial renovation, revisions to the ordinance, and planning efforts to fulfill the purpose of the Downtown Historic Ordinance and to consider future amendments and long range goals of the District.
3. Submission of Plans. A completed application declaring the proposed style shall be submitted with a fee, accompanied by the following, and any other necessary documents required by the Planning Department:
  - 1) Site plan showing existing and proposed structures and improvements
  - 2) Interior floor plan showing all spaces, doors and windows
  - 3) Exterior elevations including
    - 1) Existing & proposed changes
    - 2) Doors & windows
    - 3) Architectural features
    - 4) Trim details
    - 5) Material details
    - 6) Exterior paint color
  - 4) Roof Plan
  - 5) Accessory Structures
  - 6) Sections (for additions)

#### **D. Permitted Uses**

1. The Downtown Historic District may contain any combination of uses shown in the Use Chart in Article 5, Section 5.1.
2. Within the Downtown Historic District there are both residential and nonresidential uses which may be located in either residential structures or commercial structures. To maintain the architectural and historic character of existing blocks where one type of structure predominates, the following regulations shall apply.

- a. Residential uses may be in residential structures or commercial structures. Residential uses in commercial structures are only allowed if they occupy less than 40 percent of the floor area of the building; and do not occupy the area adjacent to the street front.
- b. Nonresidential uses may be in residential or commercial structures. Nonresidential uses in residential structures must be in those blocks where existing residential structures predominate.
- c. In block faces within the District that are currently developed with residential structures, new construction shall be of historic design. Either residential or nonresidential uses may be located in the residential structures.
- d. In block faces within the Downtown Historic District that are currently developed with commercial structures, new construction shall be of historic design.
- e. Only residential uses are permitted for those lots along Cotton Belt Avenue, and along Keefer Street from Elliot Street on the south to Brown Street on the north, and including properties north of Brown Street on Keefer Street, as depicted in Figure 6.1 and on the official zoning map of the City of Wylie.

#### **E. *Downtown Historic District Development and Design Standards***

Each historic style in Wylie is equally important, just as each house and the way it has, or will, develop is important. The historic district designation is not meant to freeze the neighborhood in time, but rather to guide the neighborhood into the future. The most significant events that effect the change of character in a historic district are remodeling, demolition and new construction. When altering an existing structure, or constructing a new structure in the district, it is important to draw upon the context of the local neighborhood for inspiration. This does not mean that new construction should mimic existing buildings. However, new construction should be sympathetic to the existing building typologies within the district and, more specifically, in the block face, if applicable.

~~1. All properties must meet requirements provided in this section for Site Design, and Architectural Standards.~~

a. **Purpose of Downtown Historic District Design Standards.** The purpose of these design standards is to ensure the preservation of the historic and architectural qualities which make the Downtown Historic District a unique place by permitting new development compatible with existing historic buildings and by maintaining the historic and architectural qualities of existing buildings.

- a. Site Design Standards. The purpose of the Site Design Standards is to provide for building and parking placement compatible with existing development.
- b. Architectural Standards. The purpose of the Architectural Standards is to provide for the preservation of existing historic and architectural qualities of Downtown Wylie, ensure new construction is compatible with these qualities, and to protect and promote the uniqueness of downtown as a commercial area.

~~3. Design Standards Review. All new development shall comply with the Site Design Standards included in Subsection 4, and the Architectural Standards in Subsection 5.~~

- a. ~~Historic Review Commission (HRC) shall be appointed by the City Council and shall consist of seven (7) members in accordance with Ordinance 2013-17, and as amended.~~

- ~~b. The HRC will be responsible for reviewing and recommending an action to the Planning and Zoning Commission and/or the City Council for proposed new construction or substantial renovation, revisions to the ordinance, and planning efforts to fulfill the purpose of the Downtown Historic Ordinance and to consider future amendments and long range goals of the District.~~

**Definition of “Standards” and “Guidelines”**

**Standards** are objective, measurable regulations, often illustrated through diagrams and sketches with which all projects must comply. They will use language such as “shall” and “prohibit”. If a project of exceptional design is clearly consistent with the Purpose of the Standards and Guidelines but does not conform to a certain standard, the Historic Commission may approve a Certificate of Appropriateness (COA) that cites the project’s compliance with that purpose.

**Design Guidelines** are more subjective statements through which the City proposes additional design strategies and will use language such as “should” and “may”. The guidelines should be suitable for most projects, and developers should endeavor to ensure that guidelines are followed to the extent possible.

**b. Standards and Guidelines for New Commercial Construction, Reconstruction, and Additions**

a. **Design Principles of New Construction.** New construction should reflect design concepts of the period in which it is created, while recognizing that a new building or additions must fit within an existing framework of a variety of older structures. New structures and additions shall harmonize with older structures. Means for differentiating may include materials, form and construction method. Style is discouraged from being the primary indicator of differentiation.

~~b. Site Design Standards~~ **Design Standards – New Commercial Structures**

1) **Building Placement – New Commercial Structures**

- (a) Buildings shall be placed on the front property line. Buildings may be moved back from the front property line a total of four feet to provide for wider sidewalks and entries, if: The buildings takes up an entire block face; or is located on a corner; or has a total frontage of more than 50 percent of the block face.
- (b) New commercial structures shall be allowed only in block faces which are predominately developed with existing commercial structures, or are predominately vacant land.
- (c) Buildings shall be placed on the side property line. Buildings may be moved back from the side property line a total of four feet to provide for wider sidewalks and entries when the side property line is along a street.
- (d) Buildings that go through a block so that they have frontage on two parallel streets, shall treat each frontage as a main façade.

- (e) All service areas and loading shall be from the alley where applicable.
- (f) New commercial structures shall construct at least a six (6) foot wide side walk.

## **5.—Architectural Design Standards**

### **2) Street Facade – New Commercial Structures**

- (a) Primary street facades for nonresidential buildings in the Downtown Historic District shall have the following basic features of existing historic buildings:
  - 1) Cornice at top of facade;
  - 2) Display windows with transom windows above and lower window panels below.
  - 3) Pilasters that divide the facade vertically and separate the display windows units into discrete visual elements.
  - 4) Second floor windows, recessed with multiple lights, lintels, and sills.
- (b) Architectural elements such as doors, windows, awnings, canopies and architectural details shall be compatible with the overall visual qualities existing within the historic buildings downtown. Maintain as much of the original basic façade as possible. The basic façade consist of three parts: the storefront, with large display windows and transom; the upper façade, with large regularly spaced windows; and the decorative cornice.
- (c) Choice of color for the primary facade, various architectural elements, or details shall be in conformance with the color scheme existing within downtown and appropriate for the historic and architectural character of the commercial structure. (Reference Preservation or Historic Color Palettes ~~Sherwin-Williams Preservation Palette, Valspar Historic Color Palette or equal would be an approved color palette~~)
- (d) ~~No like color may be repeated on both sides and or adjoining streets.~~
- (e) In addition to the above, all commercial structures shall have at least two of the following desirable design features as appropriate:
  - 1) Street facades on side streets that meet the requirements for primary facades; or
  - 2) Buildings on corners which create a diagonal corner cut with the entrance on the corner; or
  - 3) Pediments added to the top of the facade; or
  - 4) Decorative brickwork and architectural detailing on or around the cornice, fascia, pilasters, or around windows; or
  - 5) Use of natural wooden doors with glass windows; or
  - 6) Projecting canopies and or awnings placed over the ground floor windows and doors

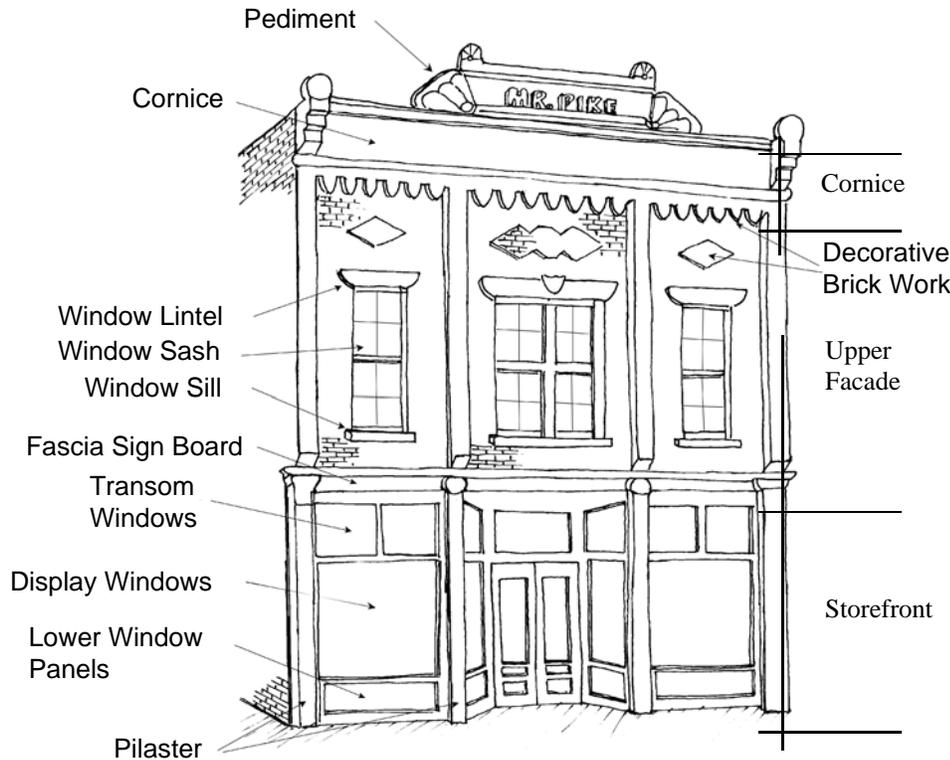


FIGURE 6-2 TYPICAL FEATURES OF COMMERCIAL STRUCTURES IN THE DOWNTOWN HISTORIC DISTRICT

3) **Building Proportions – New Commercial Structures**

- a) Overall height of single story commercial buildings in the Downtown Historic District shall be between 18 and 26 feet.
- b) The proportion of the height to width of the facade between pilasters shall be in the range of 2.5 to 1 to 3 to 1. The basic window units shall be between 2 to 2.5 times the remaining height to the top of the cornice.
- c) The ground floor facade shall have at least 45 percent of its area in transparent windows, or doors. The second floor facade shall have at least 20 percent of its area in windows. The area of windows includes any mullions framing individual lights within the window frame.
- d) The building height shall not exceed thirty-five (35') feet at the highest point of the cornice and up to forty (40') feet for architectural elements including but not limited to turrets, pinnacles and pediments.

4) **Building Materials – New Commercial Structures**

The base facade materials for commercial structures within the Downtown Historic District shall be brick or stone. Architectural details, trim, window or door framing may be wood, stone, cast stone, cast iron, or other materials compatible with the historic and architectural character of the Downtown Historic District.

**5) Fencing – New Commercial Structures**

Any fencing for commercial structures within the Downtown Historic District shall be in the rear of the building not visible from the street.

**6) Parking for Nonresidential Uses**

a. Commercial Uses less than 4,000 square feet in a block face with existing historic commercial buildings shall not be required to provide off-street parking.

b. Commercial Uses over 4,000 square feet will be required to provide off-street parking under the following standards:

1) A minimum of 50% of all required parking, in accordance with Article 5 Use Charts of this Ordinance, shall be located on site as required by specified use. All on-site parking shall be placed a minimum of 10 feet behind the front façade of the building with a landscape buffer provided. Not more than 140 feet of contiguous frontage of parking shall be visible from a street. On-site parking shall also provide spaces for bicycles at a rate of one for every full 25 spaces of required parking.

2) Alternative materials, such as pavestones and grasspavers can be used for driveways and parking spaces, subject to approval of the City Engineer.

3) Up to 25 percent of the required parking can be provided by on-street parking in front or to the side of the building.

4) The remainder of the required parking can be provided by off-site parking facilities within 1,000 feet of the site. No off-street parking can be developed with frontage on Ballard Street or the block face on the east side of Jackson Street.

5) Upon a finding that a parking reduction is necessary to preserve historic buildings and maintain the design integrity of the Downtown Historic District, the Commission may grant parking variances up to a maximum of 75 percent of the required parking.

6) Off-street parking lots with over 20 spaces are required to have landscaping and lighting that meets the standards for other nonresidential developments. (Article 4, Section 4.3)

**c. Design Standards – Existing Contributing Commercial Structures**

1) Additions to historic buildings shall replicate the style of the main building if possible, otherwise they shall adhere to the general style with simplified details.

2) At a minimum, additions shall reflect the massing, roof shape, bay spacing's, cornice lines and building materials of the primary structure.

3) When replacing elements that were originally part of an historic building, those elements shall be replicated when evidence of the actual detail has been documented by photographs, drawings, or remaining physical evidence. If no evidence exists, elements typical of the architectural style may be used as approved by the HRC.

4) Masonry used in additions shall match or complement the color, size and patterns of the brick or masonry used in the historic building.

c. **Standards and Guidelines for New Residential Construction, and Additions**

a. **Design Principles for New Residential Construction.** The use of simplified detailing as not to imitate historic ornamentation. Detailing should be inspired by historic structures rather than mimic historic detailing. A building should harmonize with the neighboring styles. The objective is to complement the context of the neighborhood.

b. **Design Standards – New Residential Structures**

1) **Building Placement – New Residential Structures**

- a) New single family residential structures are only allowed in blocks which are predominately developed with existing residential structures.
- b) Residential structures shall conform with the front yard, side yard and rear yard setbacks of existing residential buildings on the block face. Front yard and rear yard setbacks will be deemed to be in conformity if they are within five feet of the average of the existing setback on either side of the new construction. Side yard setbacks shall be no closer than the side yard setback adjacent to the new construction or 20 feet whichever is less. On corner lots, side yards shall be treated as front yards and shall be the same as that required for the primary front yard.
- c) **Setbacks – Setback refers to the distance a building is located from a property line.** Front setbacks are very important to the character of a historic district. To maintain the character of the district, it is important that new buildings maintain a similar setback to the historic structures on the block. Consistent spacing between buildings helps to establish an overall rhythm along a particular street.
- d) **Site Configuration and Orientation – The site configuration and orientation of new buildings or structures shall be compatible and consistent with the orientation of existing buildings or structures on the adjacent lots within the block face.**
- e) New residential structures shall construct at least a six (6) foot wide sidewalk.

2) **Street Façade – New Residential Structures**

- a) Residential structures within the Downtown Historic District shall have the following basic features of existing residential structures in the district, as appropriate to the architectural style of the building. These features are depicted in the following illustration for definitional purposes.
  - 1) Covered porches integrated into the front facade of the main structure;
  - 2) Multiplicity of roof forms;
  - 3) Columns and railings defining porch;
  - 4) Windows with multiple lights;
  - 5) High pitch roof lines; and
  - 6) Architectural detailing of gables, window and door casings, eave lines, and foundations.

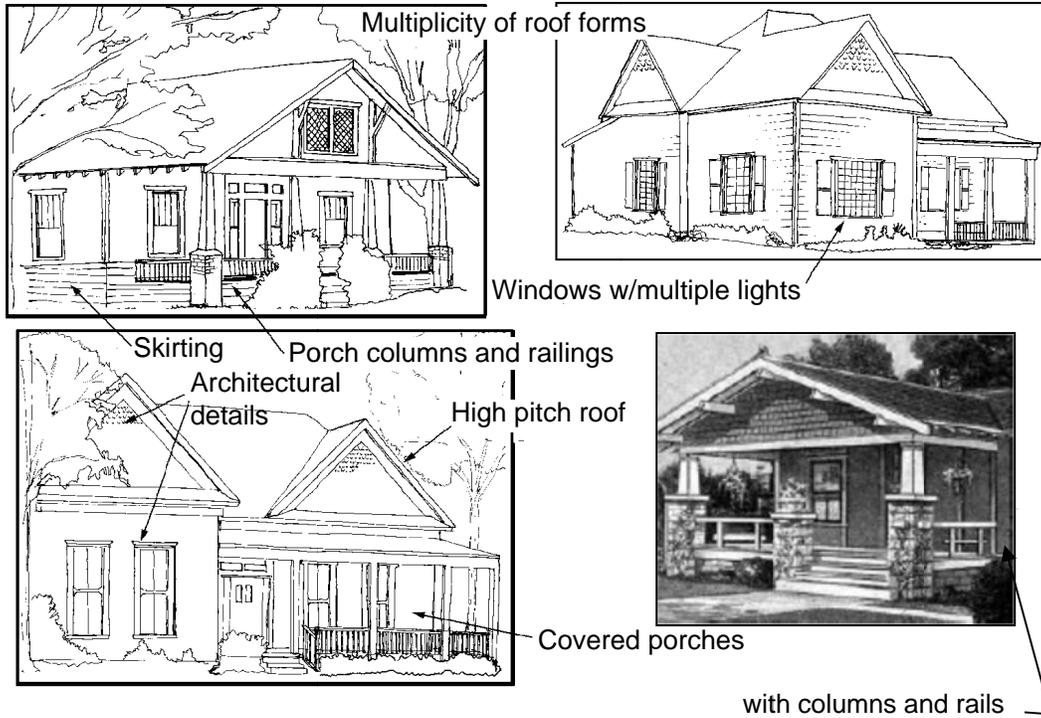


FIGURE 6-3 TYPICAL FEATURES OF RESIDENTIAL STRUCTURES IN THE DOWNTOWN HISTORIC DISTRICT

- b) The orientation of the front façade shall be consistent with the predominant orientations of historic structures found on the block face.
- c) The height and scale of new construction should generally not exceed that of adjacent structures by more than one story.
- d) Roof pitch, form and orientations shall be consistent with those predominantly found on the block face.
- e) Residential structures that have a room projecting from the primary line of the front façade shall have a covered porch across the inset portion of the façade.
- f) Residential structures which do not have any projecting rooms shall have a covered porch across at least two thirds of the width of the facade.
- g) Porches shall have columns and railings around the edge of the porch except for the entrance steps.
- h) Where used, front porches shall be a minimum of 8 feet deep, and be a minimum of 200 square feet subject to the specific architectural style of the house as defined by the National Historic Commission.
- i) Choice of color for the primary facade, various architectural elements, or details shall be in conformance with the color scheme existing within downtown and appropriate for the historic and architectural character of the commercial structure. (Reference Preservation or Historic Color Palettes ~~Sherwin-Williams Preservation Palette, Valspar Historic Color Palette~~)

or equal would be an approved color palette).

- j) No like color may be repeated on both sides and or adjoining streets.
- k) In addition to the above all residential structures shall have at least two of the following desirable design features as appropriate:
  - 1) Use of skirting along the base of the building, in a manner appropriate to the architectural design of the building; Skirting materials shall be durable, suitable for exterior exposure, and installed in accordance with the manufacturer’s installation instructions. Skirting shall be secured as necessary to ensure stability, to minimize vibrations, or minimize susceptibility to wind damage; or
  - 2) Use of foundation plantings to soften and conceal the foundation; or
  - 3) Use of architectural detailing appropriate to the architectural style of the building. Architectural detailing includes but is not limited to elements such as carving in porch rails, turned stiles, use of ornamentation around windows, doors, eave lines, porches, and decorative windows and materials within gables.



PORCH W/ SEPARATE ROOF at a FOLK VICTORIAN HOUSE



QUEEN ANN STYLE



PORCH AT A FRONT GABLE at a CRAFTSMAN HOUSE



SMALL WRAP AROUND PORCH at a FOLK VICTORIAN HOUSE

DESIGN TIPS:

- Because the elimination or enclosure of a front or side porch alters the character of a building significantly, it is not considered appropriate.
- Align all header heights.
- Use at least 4” trim for windows, doors and corner boards on residential structures.
- Balustrades are comprised of three pieces: top rail, a bottom rail, and a baluster. When replacing a balustrade it is important to take into consideration style and character of the structure, as well as, existing building code. When installing a new balustrade it should be sympathetic to the architectural style or have simplified detailing.
- Reference national standards: <http://www.nps.gov/tps/standards.htm>

3) **Building Proportions – New Residential Structures**

- a. Residential structures within the Downtown Historic District may be a maximum of two stories in height, so long as the second floor is located under the roof over the first floor. Dormers and/or windows in the gable end of the roof shall be used to provide light and air.
- b. Residential structures shall have a minimum roof pitch ~~of 8:12~~ and style of house that is consistent with those predominantly found on the block face.
- c. The building height shall not exceed thirty-five (35’) feet at the roof ridge and up to forty (40’) feet for architectural elements including but not limited to turrets, pinnacles.

4) **Building Materials – New Residential Structures**

- a. The primary exterior material for residential structures within the Downtown Historic District shall be wood siding and/or composite masonry materials having a wood pattern.
- b. The width of the siding shall be between ~~four and five inches in width~~ no more than six inches in width.
- c. ~~Renovation to existing residential structures should use materials which are compatible with the existing residential structure. Adherence to these material standards are encouraged where appropriate and/or possible.~~
- d. Vertical siding is prohibited. Board and Batten is an acceptable style.
- e. Vinyl siding, plastic, and EIFS are prohibited for use of building envelope materials.
- f. Metal roofs and metal sheeting used as the primary building envelope material on primary residential structures are prohibited.
- g. All development is defined by the base, middle and roof elements with particular attention to the front façade as this is the section that defines the character of the streetscape for the DTH. See Figure 6-4.



FIGURE 6-4 EXPRESSION OF BASE, MIDDLE AND ROOF ELEMENTS

5) **Parking for New residential Uses**

Parking for residential use shall be on site and conform to standards for residential uses in other single family districts.

**4. Design Standards – Existing Residential Structures**

a. **Street Façade – Existing Residential**

- 1) Renovation to existing residential structures should use materials which are compatible with the existing residential structure. Adherence to these material standards are encouraged where appropriate and/or possible.
- 2) Additions shall not be constructed on a primary or character defining elevation.
- 3) Additions shall be differentiated but compatible, so that the new work does not appear to be part of the historic building; the character of the historic resource should be identifiable after the new addition is constructed.
- 4) Identifying, retaining, and preserving entrances and porches – and their functional and decorative features –that are important in defining the overall historic character of the building such as doors, fanlights, sidelights, pilaster, entablatures, columns, balustrades, and stairs.
- 5) Removing or radically changing entrances and porches which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

**DESIGN TIPS**

*Encourage the retention of original architectural elements:*

- Wood Windows
- Wood Doors

- Columns
- Chimneys
- Porches
- Trim

*Discourage*

- Painting original brick that has never been painted
- The use of vinyl or metal siding
- The removal or replacement of original windows and doors
- The enclosure of porches
- The use of hardy board products except along ground
- The use of vinyl windows
- Stripping entrances and porches of historic material such as wood, cast iron, terra cotta tile, and brick.
- Removing an entrance or porch because the building has been re-oriented to accommodate a new use.
- Cutting new entrances on a primary elevation. Altering utilitarian or service entrances so they appear to be formal entrances by adding paneled doors, fanlights, and sidelights.

**b. Fencing – Residential Structures**

- 1) Fencing placed in the front of the residential structure shall be limited as follows:
  - a) Height not to exceed 3 feet;
  - b) At least 50 percent of the surface area of the fence shall be open and transparent;
  - c) Made from wood or wrought iron. Masonry or brick may be used for columns with wood or wrought iron fence panels;
  - d) Have the posts and rails facing the inside of the fence.
- 2) All fences placed in front of the residential building shall be decorative in design.
- 3) Fences placed behind the residential building shall conform to fencing requirements for single family development elsewhere in the city.

**F. DEMOLITION AND RELOCATION OF A STRUCTURE**

Any structure being considered for demolition or relocation requires HRC approval.

1. Demolition of a structure will NOT be allowed if:

- a. A structure is of architectural or historical interest and/or value or its removal would be detrimental to the public interest, or
- b. The building contributes significantly to the character of the historic district and demolition would create a detrimental view or adversely affect the existing buildings

- on the block, or
  - c. A structure is of old or unusual or uncommon design and materials and it could not be reproduced without great difficulty and/or expense, or
  - d. If its proposed replacement would not make a positive visual contribution, would disrupt the character or be visually incompatible within the historic district.
2. Demolition of a structure MAY be allowed upon approval by the Commission and the issuance of a demolition Permit:
- a. The building has lost its architectural and historical integrity and importance and its removal will not result in a negative, less appropriate visual effect on the historic district, or
  - b. The structure does not contribute to the historical or architectural character and importance of the historic district (e.g. a noncontributing structure), and its removal will result in a positive, appropriate visual effect in the district.
3. Relocation of a building may only be moved from one site to another site WITHIN the historic district under the following conditions:
- a. The building is seriously threatened in its original location,
  - b. The integrity and structural soundness of the building will be maintained,
  - c. The building will be compatible with the overall character, visual appearance and site orientation of existing buildings on the block at the new location, and
  - d. The removal of the building from its original site will not create a detrimental view or loss of integrity on its immediate block.
4. Relocation of a building may be moved from a site OUTSIDE of the historic district to a site within the historic district under the following conditions:
- a. The integrity and structural soundness of the building will be maintained,
  - b. The building will be compatible with the overall character, visual appearance, and site orientation of existing buildings on the block at the new location, and
  - c. Any proposed replacement at the original site will result in a more positive visual effect on its immediate block.
  - d. Any relocated building in the historic district shall be rehabilitated (i.e. repaired and/or rehabilitated) in accordance with the applicable sections of these guidelines so as to retain the original character, architectural details, design, and materials of the structure.

## G. Signs

**Purpose:** All signs in this section are applicable to the Downtown Historic District only and are not appropriate to any other zoning district. The purpose of this section is not to regulate the content of any sign, but to regulate the area, material, and placement of new signs and alterations made to existing signs and to ensure consistency and to preserve the Downtown Historic District as a desirable area that is pleasing and visually attractive.

**a. General Provisions:**

- (1) Pole sign means any sign erected on a vertical framework consisting of one upright supported by the ground and where there is a physical separation between the base of the sign and the ground.
- (2) Signs shall be constructed of materials that are not subject to deterioration when exposed to the weather. Internally illuminated signs must be constructed of non-combustible material or approved plastics.
- (3) New signs should respect the size, scale and design of the historic building.
- (4) New signs should not obscure significant features of the historic building. (Signs above a storefront should fit within the historic signboard for example.)
- (5) No sign permitted under the regulations of this section shall be installed without first obtaining zoning clearance and a sign permit.

**b. Signs for Residential Structures**

- (1) The sign area of any one face shall not exceed sixteen (16) square feet in area. The sign area of a pole sign shall not comprise more than seventy percent (70%) of the entire sign structure.
- (2) The maximum height of a pole sign structure shall be six (6) feet when no lighting is included. The maximum height of a pole sign structure shall be eight (8) feet when a globe type light is included.
- (3) Logos and symbols may be illuminated or backlit by fluorescent fixtures. The use of indirect lighting is also allowed.
- (4) The use of a fluorescent color on a sign is prohibited.
- (5) No more than one pole sign may be displayed on a premise at any given time.
- (6) The sign may be placed adjacent to the public right-of-way, provided it does not encroach on the sight visibility triangle and is a minimum of six feet from the outside face of curb.
- (7) Single acorn type luminaires, flutes, moldings or other traditional details are strongly preferred. See Figure 6-5.



FIGURE 6-5 TYPICAL POLE SIGN FEATURES FOR RESIDENTIAL

**c. Signs for Commercial Structures**

- (1) The size of the sign shall be in proportion to the building and the neighboring structures and signs.
- (2) The total maximum allowable sign area for each building face is one square foot per one linear foot of a single tenant, not to exceed 70 square feet, whichever is less.
- (3) The total maximum allowable sign area for each building face is one square foot per one and one-half (1-1/2) linear foot of a multi-tenant building, not to exceed 100 square feet whichever is less.
- (4) Signs shall be mounted or erected so they do not obscure the architectural features or openings of a building.
- (5) No sign or portion of a sign shall extend above the cornice line at the top of the building face. Roof top signs are prohibited.
- (6) For buildings without a recognizable style, the sign shall adopt the decorative features of the building, utilizing the same materials and colors.
- (7) The structural materials of the sign should match the historic materials of the building. Wood, metal, stucco, stone or brick, is allowed. Plastic, vinyl or similar materials are prohibited. Neon, resin to give the appearance of wood, and fabric may be used as appropriate.
- (8) Attached signs may only be illuminated utilizing internal lighting. Exterior letters with exposed neon lighting are allowed.

**d. Window Signs**

Window signs do not require a permit or a permit fee. Window Signs must meet the following regulations:

- (1) Window Signs must not obscure more than 20 percent of the window area per façade.
- (2) No illuminated Window Signs shall be allowed within two feet of the window surface, except for open/closed signs.

**e. Awning Signs**

- (1) An Awning may extend the full length of the wall of the building to which it is attached and shall solely be supported by the exterior wall of the building. The awning sign shall be no more than six feet (6') in height and shall not be placed less than eight feet (8') above the sidewalk.
- (2) Artwork or copy on Awning Signs shall be limited to a business name and or logo.
- (3) The artwork or copy for an Awning Sign shall not exceed twenty percent (20%) of the area of the Awning and shall extend for no more than sixty percent (60%) of the length of the Awning.

**f. Projecting Signs**

- (1) Signs shall be constructed of noncombustible material.
- (2) Signs shall not project more than three feet (3'), measured from the building face and shall not be closer than two feet (2') from the back of the curb line.
- (3) Bottom of the sign shall be at least 8 feet above the sidewalk.
- (4) Signs shall be compatible in design, shape, and material with the architectural and historic character of the building.
- (5) Signs shall not exceed sixteen (16) square feet per sign face.

**g. Canopy Signs**

- (1) A Canopy Sign is a permanent structure that is supported by the building or by a support extending to the ground directly under the canopy. The Canopy Sign may be attached to, or be an integral part of the face of a canopy.
- (2) A Canopy Sign may consist of only the name and/or logo of the business at the location of the canopy.
- (3) The artwork or copy on a Canopy Sign shall not exceed ten percent of the face of the canopy, or a maximum of twenty-five (25) square feet, whichever is greater.
- (4) An illuminated stripe may be incorporated into a canopy. The stripe may extend along the entire length of the face of the canopy. The width or thickness of the stripe shall be limited to one-third of the vertical dimension of the face of the canopy. The internal illumination of a canopy is limited to the portions of the canopy face on which a sign or stripe is permitted.

**h. Special Events Banner Signs**

- (1) A Special Event Banner sign is composed of cloth, plastic, canvas or other light fabric.
- (2) Only banners promoting or supporting local community events will be permitted over public right-of-ways.
- (3) An application to place a banner over a public right-of-way shall be submitted to the Building Inspections Department at least 10 days before the date to be installed.

- (4) The City of Wylie may erect and remove banners over public right-of-way. Banners may only be installed at locations approved by the City.
- (5) The maximum banner size allowed is 4 x 36 feet, unless extended over the public right-of-way. Banners must be in good repair at all times.
- (6) The banner may remain a maximum of fourteen (14) days. A maximum of two banners can be hung for each event with placement of the second banner provided as space allows. Only one banner will be hung at each location.
- (7) When a banner over the public right-of-way is removed, the applicant is responsible for picking up the banner from the City of Wylie Service Center within ten (10) working days of the removal date. A late fee of \$50 will be charged for banners left after the ten (10) day period. Unclaimed banners will be disposed of 30-days after removal date.
- (8) Banners not defined as Special Events Banners are regulated by the City's current Sign Ordinance and as amended.

**i. A-Frame/Sandwich Board Signs**

- (1) No more than one a-frame or sandwich board sign per business shall be allowed, and a minimum of four feet of clear sidewalk shall be maintained at all times. The sign shall be sufficiently weighted or anchored to prevent movement by wind or other elements.
- (2) No a-frame or sandwich board sign shall exceed eight square feet per face or four feet in height. The entire sign structure shall be calculated as the total of sign area.
- (3) Materials suggested for use for signs are finished hardwoods, or softwoods. Materials not allowed include, but are not limited to, fluorescent materials, paper or fluorescent paints.

**j. Exempt Incidental Signs.** Small incidental signs can be installed along a business frontage without permit approval from the City. Incidental signs are commonly seen as menu boards, open signs, small window signs noting hours of operation, and small hanging signs. Incidental signs do not include other signs specifically listed within this ordinance. Although a permit is not required for these type signs, the following guidelines must be maintained.

1. No more than three (3) incidental signs per building entrance.
2. Maximum area allowed is 3 sq. ft. each, with a total cumulative area not to exceed 7 sq. ft.;
3. Incidental signs that project over or into a pedestrian right-of-way must be at least 7'-6" above the sidewalk;
4. Cannot project beyond the awning;
5. Cannot extend above the awning;

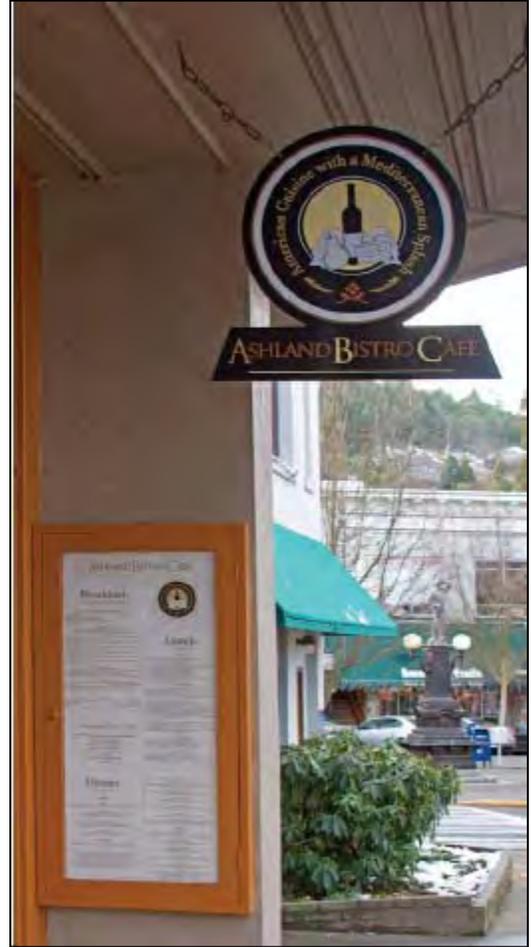


Figure 6-6 Exempt Incidental Signs



# Wylie City Council

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## AGENDA REPORT

Meeting Date: June 28, 2016  
Department: Engineering  
Prepared By: Engineering  
Date Prepared: June 20, 2016

Item Number: 2  
*(City Secretary's Use Only)*  
Account Code: 413-5413-58210  
Budgeted Amount: N/A  
Exhibits: Agreement

### Subject

Consider and act upon approval of Resolution 2016-15(R) authorizing the City Manager to execute an Impact Fee Agreement with Bloomfield Homes, L.P. for the construction of the northbound lanes of Wylie East Drive.

### Recommendation

Motion to approve Resolution 2016-15(R) authorizing the City Manager to execute an Impact Fee Agreement with Bloomfield Homes, L.P. for the construction of the northbound lanes of Wylie East Drive.

### Discussion

When Wylie East High School was built, four lanes of Wylie East Drive were constructed adjacent to the school property and two lanes of the roadway (the southbound side) were constructed north of the school site to SH 78. Wylie East Drive is shown as a secondary thoroughfare (4-lane divided) on the City of Wylie Thoroughfare Plan and the project is included in the Capital Improvements Plan and impact fee calculation (attached).

The final plat for Lewis Ranch Phase 1 dedicated the additional right of way for the widening, and the developer would like to construct the other half of the roadway with the development. The project funding is indicated below:

Projected cost of Wylie East Dr.	\$645,360
Thor. I.F. credit from Phase 1	<u>\$116,400</u> (97 lots x \$1,200/lot)
Projected East Zone I.F. expenditure	\$528,960

The actual amount of the reimbursement will be based on the final cost of the project as outlined in Section 5 of the agreement. The current East Zone Impact Fee balance is approximately \$690,000.

**RESOLUTION NO. 2016-15(R)**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS, HEREBY AUTHORIZING THE CITY MANAGER OF THE CITY OF WYLIE, TEXAS, TO EXECUTE THE IMPACT FEE AGREEMENT BETWEEN BLOOMFIELD HOMES, L.P. AND THE CITY OF WYLIE CONCERNING THE CONSTRUCTION OF WYLIE EAST DRIVE.**

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS:**

SECTION 1: The City Manager of the City of WYLIE, Texas, is hereby authorized to execute, on behalf of the City Council of the City of WYLIE, Texas, the Impact Fee Agreement between Bloomfield Homes, L.P. and the City of Wylie concerning the construction of Wylie East Drive,

SECTION 2: This Resolution shall take effect immediately upon its passage.

**RESOLVED THIS THE 28<sup>th</sup> day of June, 2016.**

\_\_\_\_\_  
ERIC HOGUE, Mayor

**ATTEST TO:**

\_\_\_\_\_  
CAROLE EHRLICH, City Secretary

**EXHIBIT “A”**

**Impact Fee Agreement**

**NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVERS' LICENSE NUMBER."**

After Recording Return to:  
City of Wylie  
Attn: City Manager  
300 Country Club Road  
Wylie, Texas 75098

**IMPACT FEE AGREEMENT BETWEEN BLOOMFIELD HOMES, L.P.  
AND THE CITY OF WYLIE, TEXAS  
(Wylie East Drive Paving Project)**

**THIS IMPACT FEE AGREEMENT** (this "Agreement"), is made and entered into this \_\_\_\_ day of \_\_\_\_\_, 2016, by and between the City of Wylie, Texas, a home-rule municipality ("Wylie"), and Bloomfield Homes, LP., a Texas limited partnership ("Developer"). Wylie and Developer are each referred to herein as a "party" or collectively as the "parties."

**WHEREAS**, Developer is the sole owner of that certain tract of land situated in the City of Wylie, Collin County, Texas, containing 29.552± acres of land located in the Francisco De La Pina Survey, Abstract No. 688, Tract 219, as more particularly depicted and described in Exhibit A, attached hereto and incorporated herein for all purposes (the "Property"); and

**WHEREAS**, Wylie desires to have the eastern half of Wylie East Drive from Wylie East High School to SH 78 constructed adjacent to or near the Property; and

**WHEREAS**, Developer has investigated and determined that it would be advantageous and beneficial to Developer to construct the eastern half of Wylie East Drive from Wylie East High School to SH 78, as provided herein and as generally depicted in Exhibit B, attached hereto and incorporated herein for all purposes (collectively, "Wylie East Drive Paving Improvements"); and

**WHEREAS**, Wylie is entitled to collect impact fees as described in Wylie Ordinance Nos. 2006-47, 2007-27, 2007-24 and 2014-35, as they exist or may be amended (collectively, "Impact Fee Ordinance"); and

**WHEREAS**, the Impact Fee Ordinance further provides for, among other things, credits against impact fees for the construction of, contribution to or dedication of any facility appearing on Wylie's Thoroughfare Plan and/or Capital Improvement Plan; and

**WHEREAS**, Wylie East Drive appears on Wylie's Thoroughfare Plan and/or Capital Improvement Plan; and

**WHEREAS**, Wylie and Developer agree that Developer may fulfill all or a portion of its obligation to pay thoroughfare impact fees under the Impact Fee Ordinance in the manner set forth herein.

**NOW, THEREFORE**, in consideration of the covenants and conditions contained in this

Agreement, Wylie and Developer agree as follows:

1. **Findings Incorporated.** The findings set forth are made a part of this Agreement as if set forth herein verbatim.

2. **Land Subject to Agreement.** The land that is subject to this Agreement is the Property. Developer represents that it is the sole owner of the Property.

3. **Construction of Wylie East Drive Paving Improvements; Estimated Construction Cost.** Developer shall construct, at its sole cost and expense except as provided in Paragraph 5 herein, the Wylie East Drive Paving Improvements in accordance Wylie's Thoroughfare Design Standards and the Construction Requirements (hereinafter defined). The Wylie East Drive Paving Improvements must be completed, finally accepted by Wylie and conveyed to Wylie in accordance with any and all applicable ordinances, rules, regulations and requirements, as they exist, may be amended or in the future arising (collectively, "Wylie's Final Acceptance"). Developer represents and warrants that the estimated construction costs for the Wylie East Drive Paving Improvements are SIX HUNDRED FORTY FIVE THOUSAND THREE HUNDRED FIFTY SIX AND 86/100 DOLLARS (\$645,356.86) ("Estimated Construction Costs"), as more particularly described in the Cost Analysis set forth in Exhibit C, attached hereto and incorporated herein for all purposes ("Cost Analysis"). Developer acknowledges and agrees that Wylie is relying on Developer's representation and warranty that the Estimated Construction Costs are as described in the Cost Analysis. Prior to receiving any reimbursement as described in Paragraph 5 herein, Developer shall tender to Wylie evidence, in a form reasonably acceptable to Wylie, that the construction costs of the Wylie East Drive Paving Improvements have been paid by Developer, including but not limited to, Affidavits of Payment/Affidavit as to Debts and Liens and any other evidence reasonably required by Wylie ("Evidence of Payments").

4. **Thoroughfare Impact Fees.** This Agreement shall only apply to thoroughfare impact fees due on the Property under the Impact Fee Ordinance. The Property shall be subject to the thoroughfare impact fee schedule in effect under the Impact Fee Ordinance at the time of development; provided, however, that if Developer complies with the terms and conditions of this Agreement, Wylie agrees to apply a thoroughfare impact fee credit ("Impact Fee Credit"), at the time thoroughfare impact fees are due to be paid, toward the total thoroughfare impact fees due on the Property under the Impact Fee Ordinance in the amount of the lesser of:

- (a) The total amount of thoroughfare impact fees assessed and due on the Property under the Impact Fee Ordinance; or
- (b) ONE HUNDRED SIXTEEN THOUSAND FOUR HUNDRED DOLLARS and No/100s (\$116,400.00).

Notwithstanding anything to the contrary herein, Developer acknowledges and agrees that the Impact Fee Credit: (a) shall be determined as described above; and (b) is not transferrable to any other property, regardless of ownership of same.

5. **Wylie East Drive Paving Improvements Reimbursement.** Within thirty (30) days after (a) Wylie's Final Acceptance of the Wylie East Drive Paving Improvements and (b) Developer complying with this Agreement, including but not limited to, providing the required

Evidence of Payment(s), Wylie shall tender to Developer a reimbursement (“Wylie East Drive Paving Improvements Reimbursement”) in the amount of FIVE HUNDRED TWENTY EIGHT THOUSAND NINE HUNDRED FIFTY SIX AND 86/100 DOLLARS (\$528,956.86), representing the Estimated Construction Costs less the Impact Fee Credit. Wylie and Developer agree that the sum of the amounts of the Wylie East Drive Paving Improvements Reimbursement and the Impact Fee Credit will not exceed one hundred percent (100%) of the total costs for the Wylie East Drive Paving Improvements. Wylie hereby agrees to tender, and Developer hereby accepts, the Wylie East Drive Paving Improvements Reimbursement to be made pursuant to this Agreement as Wylie’s sole financial participation in the total amount of *actual* construction costs incurred by Developer in its construction and completion of the Wylie East Drive Paving Improvements in accordance with this Agreement, regardless of whether the *actual* construction costs exceed the Estimated Construction Costs.

6. **Default.** If Developer fails to comply with the provisions of this Agreement, Wylie shall have all of the following remedies, in addition to Wylie’s other rights and remedies:

- (a) to refuse to issue building permits for the Property; and/or
- (b) to refuse to issue a certificate of occupancy for any building on the Property; and/or
- (c) to file this instrument in the Land Records of Collin County as a lien and/or encumbrance on the Property, save and except any residential lot(s) for which a certificate of occupancy has been issued to a third party owner of any residential lot contained within the Property; and/or
- (d) to refuse to accept any portion of any public improvements on the Property and/or associated with the development of the Property; and/or
- (e) to nullify Paragraph 4 and/or Paragraph 5 of this Agreement and immediately enforce the Impact Fee Ordinance through imposition of the full thoroughfare impact fees in effect at the time of default and making such immediately due and payable; and/or
- (f) to seek specific enforcement of this Agreement.

If Wylie fails to comply with the terms and conditions of this Agreement and such failure is not cured within thirty (30) days after Wylie receives written notice of such failure from Developer, then Developer may seek specific enforcement of this Agreement as its sole and exclusive remedy.

7. **Covenant Running with the Land.** This Agreement shall be a covenant running with the land and the Property and shall be binding upon the Developer, its officers, directors, partners, employees, representatives, agents, successors, assignees, vendors, grantees and/or trustees, and specifically excluding third party owners of any residential lots contained within the Property for which a certificate of occupancy has been issued. In addition, the parties shall cause this Agreement to be filed in the Land Records of Collin County, Texas. Developer represents and warrants that the filing of this Agreement as provided herein shall provide Wylie with a superior and priority encumbrance, lien or interest in, on and to the Property as to any and all

other persons or entities.

8. **Limitations of Agreement.** The parties acknowledge that this Agreement is limited to the construction of the Wylie East Drive Paving Improvements and the thoroughfare impact fees due under the Impact Fee Ordinance. Wylie ordinances covering property taxes, utility rates, permit fees, inspection fees, development fees, sewer and water impact fees, tap fees, pro-rata fees and the like are not affected by this Agreement. Further, this Agreement does not waive or limit any of the obligations of Developer to Wylie under any ordinance, whether now existing or in the future arising.

9. **Notices.** Any notice provided or permitted to be given under this Agreement must be in writing and may be served by depositing same in the United States mail, addressed to the party to be notified, postage pre-paid and registered or certified with return receipt requested, or by delivering the same in person to such party via facsimile or a hand-delivery service, Federal Express or any courier service that provides a return receipt showing the date of actual delivery of same to the addressee thereof. Notice given in accordance therewith shall be effective upon receipt at the address of the addressee. For purposes of notice, the addressee of the parties shall be as follows:

If to Wylie, addressed to it at:

City of Wylie  
Attn: City Manager  
300 Country Club Road  
Wylie, Texas 75098  
Telephone: (972) 516-6010  
Facsimile: (972) 516-6026

With a copy to:

Abernathy, Roeder, Boyd and Hullett, P.C.  
Attn: Ryan Pittman  
1700 Redbud Boulevard, Suite 300  
McKinney, Texas 75069  
Telephone: (214) 544-4000  
Facsimile: (214) 544-4040

If to Developer, addressed to it at:

Bloomfield Homes, L.P.  
1050 E Hwy 114 Suite 210  
Southlake, TX 76092  
Telephone: \_\_\_\_\_  
Facsimile: \_\_\_\_\_

10. **ACKNOWLEDGEMENT OF WYLIE'S COMPLIANCE WITH FEDERAL AND STATE CONSTITUTIONS, STATUTES AND CASE LAW AND FEDERAL, STATE AND LOCAL ORDINANCES, RULES AND REGULATIONS; DEVELOPER'S WAIVER AND RELEASE OF CLAIMS FOR OBLIGATIONS IMPOSED BY THIS AGREEMENT.**

- (a) **DEVELOPER ACKNOWLEDGES AND AGREES THAT:**
- (i) **THE CONVEYANCES, DEDICATIONS, EASEMENTS AND/OR PAYMENT OF MONEY REQUIRED BY THIS AGREEMENT TO BE PERFORMED BY DEVELOPER, IN WHOLE OR IN PART, DO NOT CONSTITUTE A:**
    - (A) **TAKING UNDER THE TEXAS OR UNITED STATES CONSTITUTION;**
    - (B) **VIOLATION OF THE TEXAS WATER CODE, AS IT EXISTS OR MAY BE AMENDED;**
    - (C) **NUISANCE; OR**
    - (D) **CLAIM FOR DAMAGES OR REIMBURSEMENT AGAINST WYLIE FOR A VIOLATION OF ANY FEDERAL OR STATE CONSTITUTION, STATUTE OR CASE LAW OR ANY FEDERAL, STATE OR LOCAL ORDINANCE, RULE OR REGULATION.**
  - (ii) **THE AMOUNT OF DEVELOPER'S FINANCIAL OR INFRASTRUCTURE CONTRIBUTION OR CONVEYANCE OF REAL PROPERTY OR INTERESTS THEREIN (AFTER RECEIVING ALL CONTRACTUAL OFFSETS, CREDITS AND REIMBURSEMENTS, IF ANY) AGREED TO IN THIS AGREEMENT IS ROUGHLY PROPORTIONAL TO THE DEMAND THAT SUCH DEVELOPER'S DEVELOPMENT PLACES ON WYLIE'S INFRASTRUCTURE.**
  - (iii) **DEVELOPER HEREBY RELEASES WYLIE FROM ANY OBLIGATION TO PERFORM OR COMMISSION A TAKINGS IMPACT ASSESSMENT UNDER CHAPTER 2007 OF THE TEXAS GOVERNMENT CODE, AS IT EXISTS OR MAY BE AMENDED.**
  - (iv) **DEVELOPER HEREBY AGREES THAT ANY PROPERTY WHICH IT CONVEYS TO WYLIE PURSUANT TO THIS AGREEMENT IS ROUGHLY PROPORTIONAL TO THE BENEFIT RECEIVED BY DEVELOPER FOR SUCH LAND, AND DEVELOPER HEREBY WAIVES ANY CLAIM THEREFORE THAT IT MAY HAVE. DEVELOPER FURTHER ACKNOWLEDGES AND AGREES THAT ALL PREREQUISITES TO SUCH A DETERMINATION OF ROUGH PROPORTIONALITY HAVE BEEN MET, AND THAT ANY VALUE RECEIVED BY WYLIE RELATIVE TO SAID CONVEYANCE ARE RELATED BOTH IN NATURE AND EXTEND TO THE IMPACT OF THE DEVELOPMENT OF DEVELOPER'S ADJACENT PROPERTY ON WYLIE'S INFRASTRUCTURE. DEVELOPER AND WYLIE FURTHER AGREE TO WAIVE AND RELEASE ALL CLAIMS ONE MAY HAVE AGAINST THE OTHER RELATED TO ANY AND ALL ROUGH PROPORTIONALITY AND INDIVIDUAL DETERMINATION REQUIREMENTS MANDATED BY THE UNITED STATES SUPREME COURT IN *DOLAN V. CITY OF TIGARD*, 512 U.S. 374 (1994), AND ITS PROGENY, AS WELL AS ANY OTHER REQUIREMENTS OF A NEXUS BETWEEN DEVELOPMENT CONDITIONS AND THE PROJECTED IMPACT OF THE PUBLIC INFRASTRUCTURE.**
  - (v) **DEVELOPER SHALL INDEMNIFY AND HOLD HARMLESS WYLIE FROM AND AGAINST ANY CLAIMS AND SUITS OF THIRD PARTIES, INCLUDING BUT NOT**

LIMITED TO, DEVELOPER'S PARTNERS, OFFICERS, DIRECTORS, EMPLOYEES, REPRESENTATIVES, AGENTS, SUCCESSORS, ASSIGNEES, VENDORS, GRANTEEES OR TRUSTEES, BROUGHT PURSUANT TO THIS PARAGRAPH 10.

- (b) DEVELOPER RELEASES WYLIE FROM ANY AND ALL CLAIMS OR CAUSES OF ACTION BASED ON EXCESSIVE OR ILLEGAL EXACTIONS.
- (c) DEVELOPER WAIVES ANY CLAIM FOR DAMAGES OR REIMBURSEMENT AGAINST WYLIE FOR A VIOLATION OF ANY FEDERAL OR STATE CONSTITUTION, STATUTE OR CASE LAW OR ANY FEDERAL, STATE OR LOCAL ORDINANCE, RULE OR REGULATION.
- (d) THIS PARAGRAPH 10 SHALL SURVIVE THE TERMINATION OF THIS AGREEMENT.

11. INDEMNITY.

- (a) DEVELOPER SHALL RELEASE, DEFEND, INDEMNIFY AND HOLD HARMLESS WYLIE FROM AND AGAINST ALL DAMAGES, INJURIES (INCLUDING DEATH), CLAIMS, PROPERTY DAMAGES (INCLUDING LOSS OF USE), LOSSES, DEMANDS, SUITS, JUDGMENTS AND COSTS, INCLUDING REASONABLE ATTORNEY'S FEES AND EXPENSES (INCLUDING ATTORNEY'S FEES AND EXPENSES INCURRED IN ENFORCING THIS INDEMNITY), TO THE EXTENT CAUSED, IN WHOLE OR IN PART, BY THE NEGLIGENT, GROSSLY NEGLIGENT OR INTENTIONAL WRONGFUL ACT OR OMISSION OF DEVELOPER IN ITS PERFORMANCE OF THIS AGREEMENT OR ARISING OUT OF GOODS OR SERVICES PROVIDED PURSUANT TO THIS AGREEMENT, REGARDLESS OF THE JOINT OR CONCURRENT NEGLIGENCE OF WYLIE (HEREINAFTER "CLAIMS"). THIS INDEMNIFICATION PROVISION AND THE USE OF THE TERM "CLAIMS" IS ALSO SPECIFICALLY INTENDED TO APPLY TO, BUT NOT LIMITED TO, ANY AND ALL CLAIMS, WHETHER CIVIL OR CRIMINAL, BROUGHT AGAINST WYLIE BY ANY GOVERNMENT AUTHORITY OR AGENCY RELATED TO ANY PERSON PROVIDING SERVICES UNDER THIS AGREEMENT THAT ARE BASED ON ANY FEDERAL IMMIGRATION LAW AND ANY AND ALL CLAIMS, DEMANDS, DAMAGES, ACTIONS AND CAUSES OF ACTION OF EVERY KIND AND NATURE, KNOWN AND UNKNOWN, EXISTING OR CLAIMED TO EXIST, RELATING TO OR ARISING OUT OF ANY EMPLOYMENT RELATIONSHIP BETWEEN DEVELOPER AND ITS EMPLOYEES OR SUBCONTRACTORS AS A RESULT OF THAT SUBCONTRACTOR'S OR EMPLOYEE'S EMPLOYMENT OR SEPARATION FROM EMPLOYMENT WITH THE DEVELOPER, INCLUDING BUT NOT LIMITED TO ANY DISCRIMINATION CLAIM BASED ON SEX, SEXUAL ORIENTATION OR PREFERENCE, RACE, RELIGION, COLOR, NATIONAL ORIGIN, AGE OR DISABILITY UNDER FEDERAL, STATE OR LOCAL LAW, RULE OR REGULATION, OR ANY CLAIM FOR WRONGFUL TERMINATION, BACK PAY, FUTURE WAGE LOSS, OVERTIME PAY, EMPLOYEE BENEFITS, INJURY SUBJECT TO RELIEF UNDER THE WORKERS' COMPENSATION ACT OR WOULD BE SUBJECT TO RELIEF UNDER ANY POLICY FOR WORKERS' COMPENSATION INSURANCE AND ANY OTHER CLAIM, WHETHER IN TORT, CONTRACT OR OTHERWISE. DEVELOPER IS EXPRESSLY REQUIRED TO DEFEND WYLIE AGAINST ALL SUCH CLAIMS.

- (b) **IN ITS SOLE DISCRETION, WYLIE SHALL HAVE THE RIGHT TO APPROVE OR SELECT DEFENSE COUNSEL TO BE RETAINED BY DEVELOPER IN FULFILLING ITS OBLIGATION HEREUNDER TO DEFEND AND INDEMNIFY WYLIE, UNLESS SUCH RIGHT IS EXPRESSLY WAIVED BY WYLIE IN WRITING. WYLIE RESERVES THE RIGHT TO PROVIDE A PORTION OR ALL OF ITS OWN DEFENSE; HOWEVER, WYLIE IS UNDER NO OBLIGATION TO DO SO. ANY SUCH ACTION BY WYLIE IS NOT TO BE CONSTRUED AS A WAIVER OF DEVELOPER'S OBLIGATION TO DEFEND WYLIE OR AS A WAIVER OF DEVELOPER'S OBLIGATION TO INDEMNIFY WYLIE PURSUANT TO THIS AGREEMENT. DEVELOPER SHALL RETAIN WYLIE-APPROVED DEFENSE COUNSEL WITHIN SEVEN (7) BUSINESS DAYS OF WYLIE'S WRITTEN NOTICE THAT WYLIE IS INVOKING ITS RIGHT TO INDEMNIFICATION UNDER THIS AGREEMENT. IF DEVELOPER FAILS TO RETAIN COUNSEL WITHIN SUCH TIME PERIOD, WYLIE SHALL HAVE THE RIGHT TO RETAIN DEFENSE COUNSEL ON ITS OWN BEHALF, AND DEVELOPER SHALL BE LIABLE FOR ALL COSTS INCURRED BY WYLIE.**
- (c) **THE RIGHTS AND OBLIGATIONS CREATED BY THIS PARAGRAPH 11 SHALL SURVIVE THE TERMINATION OF THIS AGREEMENT.**

12. **Vested Rights/Chapter 245 Waiver.** The parties shall be subject to all ordinances of Wylie, whether now existing or in the future arising. This Agreement shall confer no vested rights on the Property, or any portion thereof, unless specifically enumerated herein. In addition, nothing contained in this Agreement shall constitute a "permit" as defined in Chapter 245 of the Texas Local Government Code, as amended, and nothing in this Agreement provides Wylie with fair notice of any project of Developer. **DEVELOPER WAIVES ANY STATUTORY CLAIM UNDER CHAPTER 245 OF THE TEXAS LOCAL GOVERNMENT CODE, AS AMENDED, UNDER THIS AGREEMENT. THIS PARAGRAPH 12 SHALL SURVIVE THE TERMINATION OF THIS AGREEMENT.**

13. **SENATE BILL 18 WAIVER. AS ADDITIONAL CONSIDERATION FOR THE BENEFITS DEVELOPER IS RECEIVING UNDER THIS AGREEMENT, DEVELOPER HEREBY RELEASES WYLIE FROM AND AGAINST, AND WAIVES ANY ALL RIGHTS TO, CLAIM ANY RELIEF UNDER SENATE BILL 18, AS ADOPTED BY THE 82<sup>ND</sup> TEXAS LEGISLATIVE SESSION.**

14. **Attorney's Fees.** If either party files any action or brings any proceeding against the other arising from this Agreement, then as between Developer and Wylie, the prevailing party shall be entitled to recover as an element of its costs of suit, and not as damages, reasonable and necessary attorneys' fees and litigation expenses both at trial and on appeal, subject to the limitations set forth in TEX. LOC. GOV'T CODE § 271.153, as it exists or may be amended, if applicable.

15. **Incorporation of Recitals.** The representations, covenants and recitations set forth in the foregoing recitals of this Agreement are true and correct and are hereby incorporated into the body of this Agreement and adopted as findings of Wylie and the authorized representative of the Developer.

16. **Warranties/Representations.** All warranties, representations and covenants made by Developer in this Agreement or in any certificate or other instrument delivered by Developer to Wylie under this Agreement and shall be considered to have been relied upon by Wylie and will survive the satisfaction of any fees under this Agreement, regardless of any

investigation made by Wylie or on Wylie's behalf.

17. **Entire Agreement.** This Agreement contains the entire agreement of the parties with respect to matters contained herein and may not be modified or terminated except upon the provisions hereof or by the mutual written agreement of the parties.

18. **Governing Law; Venue.** The laws of the State of Texas shall govern the interpretation, validity, performance and enforcement of this Agreement, without regard to conflict of law principles. This Agreement is performable in Collin County, Texas, and the exclusive venue for any action arising out of this Agreement shall be a court of appropriate jurisdiction in Collin County, Texas.

19. **Consideration.** This Agreement is executed by the parties hereto without coercion or duress and for substantial consideration, the sufficiency of which is forever confessed.

20. **Counterparts.** This Agreement may be executed in a number of identical counterparts, each of which shall be deemed an original for all purposes. An electronic mail or facsimile signature will also be deemed to constitute an original if properly executed and delivered to the other party.

21. **Authority to Execute.** The individuals executing this Agreement on behalf of the respective parties below represent to each other and to others that all appropriate and necessary action has been taken to authorize the individual who is executing this Agreement to do so for and on behalf of the party for which his or her signature appears, that there are no other parties or entities required to execute this Agreement in order for the same to be an authorized and binding agreement on the party for whom the individual is signing this Agreement and that each individual affixing his or her signature hereto is authorized to do so, and such authorization is valid and effective on the Effective Date (hereinafter defined). The parties agree that the performance of the parties under this Agreement is authorized by Section 212.072 of the Texas Local Government Code.

22. **Savings/Severability.** In the event that a term, condition or provision of this Agreement is determined to be invalid, illegal, void, unenforceable or unlawful by a court of competent jurisdiction, then that term, condition or provision shall be deleted and the remainder of the Agreement shall remain in full force and effect as if such invalid, illegal, void, unenforceable or unlawful provision had never been contained in this Agreement.

23. **Representations.** Each party represents that it has carefully read this Agreement, knows the contents hereof, has consulted with an attorney of its choice regarding the meaning and effect hereof and is signing the same solely of its own judgment.

24. **No Third Party Beneficiaries.** Nothing in this Agreement shall be construed to create any right in any third party not a signatory to this Agreement, and the parties do not intend to create any third party beneficiaries by entering into this Agreement.

25. **Assignment/Binding Effect.**

- (a) This Agreement is assignable, in whole or in part, upon the following conditions, all of which must be satisfied before any such assignment shall be valid and enforceable:
- (i) the assignment of the Agreement must be evidenced by a recordable document (“Assignment”), the form of which must be approved in writing by Wylie;
  - (ii) the Assignment must expressly contain, among any other reasonable requirements and conditions of Wylie, an acknowledgment and agreement that all obligations, covenants and conditions contained in this Agreement will be assumed solely and completely by the assignee, and the contact name, address, phone number, fax number and electronic mail address of the assignee;
  - (iii) Developer will file any approved, executed Assignment in the Real Property Records of Collin County, Texas; and
  - (iv) Developer shall provide Wylie with a file-marked copy of the Assignment within ten (10) days of filing the same, and until Wylie receives said file-marked copy of the Assignment as provided herein, Wylie shall not, under any circumstance, recognize said Assignment.
- (b) This Agreement shall be binding on and inure to the benefit of the parties hereto and their respective officers, directors, partners, employees, representatives, agents, vendors, grantees, and/or trustees, heirs, executors, administrators, legal representatives, successors and assigns, as authorized herein.

26. **Indemnification**. The parties agree that the Indemnity provisions set forth in Paragraph 10 and Paragraph 11 herein are conspicuous, and the parties have read and understood the same.

27. **Construction and Bond Requirements**. All construction described herein shall be subject to and in compliance with all ordinances, rules, regulations and requirements of Wylie, as they exist, may be amended or in the future arising (collectively, “Regulations”), including, but not limited to, all Regulations applicable to Wylie’s Final Acceptance, and evidence of any bonds required by Section 212.073 of the Texas Local Government Code, as amended, other applicable law or this Agreement shall be provided by Developer to Wylie (collectively, “Construction Requirements”).

28. **Conveyances**. All conveyances required herein shall be made in a form acceptable to Wylie and free and clear of any and all liens and encumbrances.

29. **Waivers**. Waiver by either party of any breach of this Agreement, or the failure of either party to enforce any of the provisions of this Agreement, at any time, shall not in any way affect, limit or waive such party’s right thereafter to enforce and compel strict compliance.

30. **Reference to Developer**. When referring to “Developer” herein, this Agreement shall refer to and be binding upon all parties within the herein defined term Developer, and their

officers, directors, partners, employees, representatives, contractors, agents, successors, assignees, vendors, grantees and/or trustees.

31. **Miscellaneous Drafting Provisions**. This Agreement shall be deemed drafted equally by all parties hereto. The language of all parts of this Agreement shall be construed as a whole according to its fair meaning, and any presumption or principle that the language herein is to be construed against any party shall not apply. Headings in this Agreement are for the convenience of the parties and are not intended to be used in construing this document.

32. **Immunity**. It is expressly understood and agreed that, in the execution and performance of this Agreement, Wylie has not waived, nor shall be deemed hereby to have waived, any defense or immunity, including governmental, sovereign and official immunity, that would otherwise be available to it against claims arising in the exercise of governmental powers and functions. By entering into this Agreement, the parties do not create any obligations, express or implied, other than those set forth herein.

IN WITNESS WHEREOF, the parties have executed this Agreement and caused this Agreement to be effective on the latest day as reflected by the signatures below.

**EXECUTED** as of \_\_\_\_\_, 2016.

**CITY OF WYLIE, TEXAS**

\_\_\_\_\_  
Mindy Manson, City Manager

**ATTEST:**

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Carole Ehrlich, City Secretary

\_\_\_\_\_  
Abernathy, Roeder, Boyd & Hullett, P.C.  
Ryan D. Pittman, City Attorneys

**BLOOMFIELD HOMES, L.P.,**  
a Texas Limited Partnership

By: \_\_\_\_\_  
Don Dykstra, President

STATE OF TEXAS           §  
  §  
COUNTY OF COLLIN       §

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED **MINDY MANSON**, KNOWN TO ME TO BE ONE OF THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT; HE ACKNOWLEDGED TO ME THAT HE IS THE DULY AUTHORIZED REPRESENTATIVE FOR THE CITY OF WYLIE, TEXAS, A TEXAS HOME RULE CORPORATION, AND HE EXECUTED THE SAID INSTRUMENT FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2016.

\_\_\_\_\_  
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS  
My commission expires: \_\_\_\_\_

STATE OF TEXAS           §  
  §  
COUNTY OF DALLAS       §

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED **DON DYKSTRA**, KNOWN TO ME TO BE ONE OF THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT; HE ACKNOWLEDGED TO ME THAT HE IS THE PRESIDENT AND DULY AUTHORIZED REPRESENTATIVE FOR CREEKSIDE DEVELOPMENT, INC., AND HE EXECUTED THE SAID INSTRUMENT FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2016.

\_\_\_\_\_  
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS  
My commission expires: \_\_\_\_\_

**Exhibit A**  
**(Property)**

LEGAL DESCRIPTION

Being a 29.552 acre tract of land situated in the City of Wylie, Collin County, Texas, being a part of the Francisco De La Pina Survey, Abstract No. 688, and being part of the tract of land described in deed to Douglas Properties, Inc., recorded in Document No. 20121228001649400, Official Public Records, Collin County, Texas, said 29.552 acre tract of land being more particularly described as follows:

**COMMENCING** at a TxDOT right-of-way monument in the south right-of-way line of State Highway 78 (variable width right-of way), being in the east right-of-way line of Wylie East Drive (variable width right-of-way) conveyed to the City of Wylie, recorded in document number 201106224000655980, Official Public Records, Collin County, Texas, and being the most westerly northwest corner of said Douglas Properties, Inc.;

**THENCE** South 16 degrees 42 minutes 17 seconds East, departing said north right-of-way of State Highway 78 and coincident with the east right-of-way of said Wylie East Drive and West line of said Douglas Properties, Inc., tract, a distance of 11.54 feet to a 5/8" found iron rod with cap stamped "Adams," and the beginning of a curve to the right having a radius of 2000.00 feet, a central angle of 04 degrees 48 minutes 45 seconds, a long chord that bears South 14 degrees 17 minutes 55 seconds East, a distance of 167.94 feet;

**THENCE** Along said curve to the right an arc distance of 167.99 feet to a 5/8" found iron rod with cap stamped "Adams," for the **POINT OF BEGINNING**;

**THENCE** departing said east right-of-way line of said Wylie East Drive over and across said Douglas Properties, Inc., tract the following courses and distances;

Beginning a curve to the right having a radius of 2000.00 feet, a central angle of 11 degrees 34 minutes 49 seconds, a long chord that bears South 06 degrees 06 minutes 08 seconds East, a distance of 403.54 feet;

Along said curve to the right an arc distance of 404.23 feet to a 5/8" set iron rod with cap stamped "Westwood PS;"

South 44 degrees 37 minutes 54 seconds East, a distance of 21.38 feet to a 5/8" set iron rod with cap stamped "Westwood PS," and the beginning of a curve to the left having a radius of 975.00 feet, a central angle of 00 degrees 34 minutes 45 seconds, a long chord that bears South 89 degrees 27 minutes 20 seconds East, a distance of 9.86 feet;

Along said curve to the right an arc distance of 9.86 feet to a 5/8" set iron rod with cap stamped "Westwood PS;"

North 44 degrees 42 minutes 20 seconds West, a distance of 14.20 feet to a 5/8" set iron rod with cap stamped "Westwood PS," and the beginning a curve to the left having a radius of 2165.00 feet, a central angle of 02 degrees 38 minutes 06 seconds, a long chord

that bears North 01 degrees 24 minutes 35 seconds West, a distance of 99.56 feet;

Along said curve to the right an arc distance of 99.56 feet to a 5/8" set iron rod with cap stamped "Westwood PS;"

North 88 degrees 09 minutes 33 seconds East, a distance of 59.91 feet to a 5/8" set iron rod with cap stamped "Westwood PS;"

North 84 degrees 13 minutes 35 seconds East, a distance of 105.75 feet to a 5/8" set iron rod with cap stamped "Westwood PS;"

North 86 degrees 26 minutes 29 seconds East, a distance of 62.61 feet to a 5/8" set iron rod with cap stamped "Westwood PS;"

South 89 degrees 17 minutes 46 seconds East, a distance of 499.15 feet to a 5/8" set iron rod with cap stamped "Westwood PS;"

South 00 degrees 42 minutes 14 seconds West, a distance of 160.00 feet to a 5/8" set iron rod with cap stamped "Westwood PS;"

South 89 degrees 17 minutes 46 seconds East, a distance of 74.46 feet to a 5/8" set iron rod with cap stamped "Westwood PS;"

South 01 degrees 08 minutes 38 seconds West, a distance of 350.45 feet to a 5/8" set iron rod with cap stamped "Westwood PS," and the beginning a tangent curve to the left having a radius of 145.00 feet, a central angle of 90 degrees 00 minutes 00 seconds, a long chord that bears South 43 degrees 51 minutes 22 seconds East, a distance of 205.06 feet;

Along said tangent curve to the right an arc distance of 227.77 feet to a 5/8" set iron rod with cap stamped "Westwood PS;"

South 88 degrees 51 minutes 22 seconds East, a distance of 827.98 feet to a 5/8" set iron rod with cap stamped "Westwood PS" and being in the west right-of-way line of Bennett Road (30 foot right-of-way);

**THENCE** South 00 degrees 02 minutes 30 seconds East, coincident with the said right-of-way of Bennett Drive and east line of said Douglas Properties, Inc., tract, a distance of 335.92 feet to a 5/8" found iron rod with cap stamped "Adams" being the northeast corner of a tract of land conveyed to Wylie East High School in document number 2008030810000850 recorded in Plat Records, Collin County, Texas, being in the west right-of-way of said Bennett Road, and being the southeast corner of said Douglas Properties, Inc., tract;

**THENCE** North 88 degrees 25 minutes 05 seconds West, coincident with the north line of said Wylie East High School tract and south line of herein described tract, a distance of 1989.14 feet to a 5/8" found iron rod with cap stamped "Adams" being in the future centerline of said Wylie East Drive;

**THENCE** North 00 degrees 55 minutes 56 seconds East, a distance of 577.93 feet to a 5/8” found iron rod with cap stamped “Adams” being in the future centerline of said Wylie East Drive;

**THENCE** North 00 degrees 56 minutes 47 seconds East, a distance of 677.74 feet to the **POINT OF BEGINNING** and containing 1,287,296.32 square feet or 29.552 acres of land more or less.

Bearings for this description cited are based on Grid North State Plane Coordinates of the Texas Coordinate System NAD83 (CORS96) Texas North Central Zone (4202), NAVD88.

**Exhibit B**  
**(Wylie East Drive Paving Improvements)**

**Exhibit C**  
**(Cost Analysis)**

# Construction Plans for Public Improvements

for  
**Street Pavement, Water & Storm Sewer**

for  
**Wylie East Drive**  
 City of Wylie, Collin County, TX

PREPARED FOR:

**Bloomfield Homes, L.P.**  
 1050 E. Highway 114, Suite 210  
 Southlake, TX 76092  
**Contact: Mr. Don Dykstra**  
**Phone: (817) 416-1572**  
**Fax: (817) 416-1397**

ENGINEER/SURVEYOR:

**Westwood**

Westwood Professional Services, Inc.  
 2740 North Dallas Parkway, Suite 280  
 Plano, TX 75093  
 Phone (214) 473-4640  
 Toll Free (888) 937-5150  
 FIRM NO. F-11756

westwoodps.com

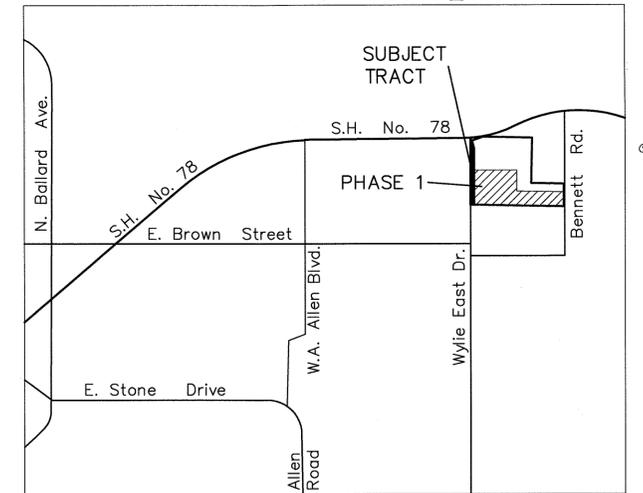
Project number: 0000741.00  
 Contact: Richard Hovas, PE

**GENERAL NOTES**

1. ALL STREET AND ALLEY INTERSECTIONS AND CONNECTIONS SHALL BE BUILT BY THE DEVELOPER.
2. EXCAVATION FROM STREETS SHALL BE DEPOSITED IN LOW AREAS TO ALLOW PROPER DRAINAGE, EXCEPT EXISTING CREEK.
3. ALL EXISTING DITCHES, EXCEPT AS NOTED ON DRAINAGE PLANS, SHALL BE FILLED TO CONFORM TO SURROUNDING TERRAIN.
4. IT WILL BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR THE CONTRACTOR TO PROTECT AND MAINTAIN TO PROPER LINE AND GRADE ALL PUBLIC UTILITIES, MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC. DURING THE CONSTRUCTION OF THIS PROJECT, PRIOR TO AND AFTER PLACING PERMANENT PAVEMENT.
5. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO CITY OF WYLIE STANDARDS AND SPECIFICATIONS.

NO.	DATE	REVISION	SHEETS

**Vicinity Map**



VICINITY MAP  
 NOT TO SCALE

Sheet List Table	
Sheet Number	Sheet Title
0	COVER
1	PAVING PLAN
2	PAVING PLAN
3	DRAINAGE AREA MAP
4	STORM SEWER PLAN
5	EROSION CONTROL PLAN
6	CITY OF WYLIE GENERAL NOTES
7-11	CITY OF WYLIE DETAILS

These documents are for Design Review and not intended for Construction, Bidding or Permit Purposes. They were prepared by, or under the supervision of:

Engineer: Richard Hovas  
 Engineering Reg. No: 58877  
 Date: 03/14/2016  
 Westwood Professional Services, Inc. State of Texas  
 Firm Registration #F-11756

**Construction Plans for Public Improvements**

for  
**Street Pavement, Water & Storm Sewer**

for  
**Wylie East Drive**  
 City of Wylie, Collin County, TX

**Preliminary**

Date: 03/14/2016 Sheet: 0 of 11

**CAUTION !!!**  
EXISTING UTILITIES

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**Westwood**

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2740 North Dallas Parkway, Suite 280  
Plano, TX 75093  
Phone (214) 473-4640  
Toll Free (888) 937-5150  
FIRM NO. F-11756

westwoodps.com

Designed: DSW  
Checked: BPP  
Drawn: DSW  
Record Drawing by/date:

Revisions:

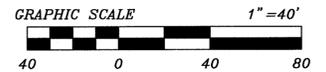
No.	Description

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Prepared for:

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Southlake, TX 76092



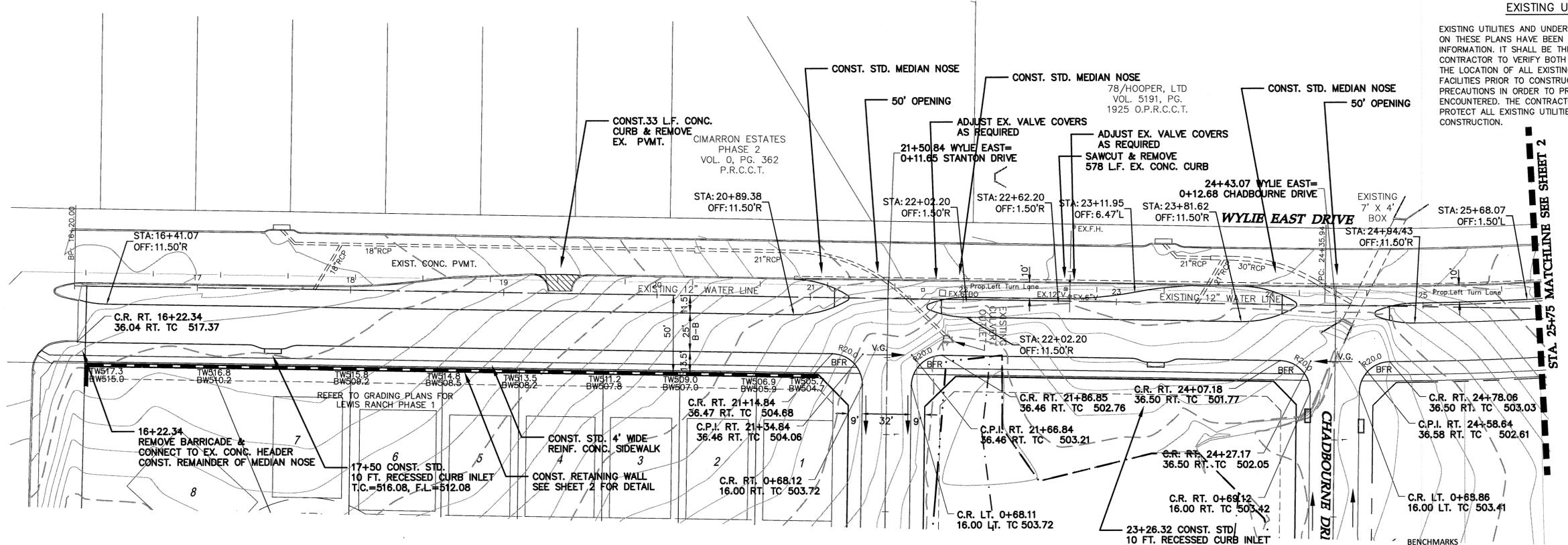
**Wylie East Drive**

City of Wylie,  
Collin County, TX

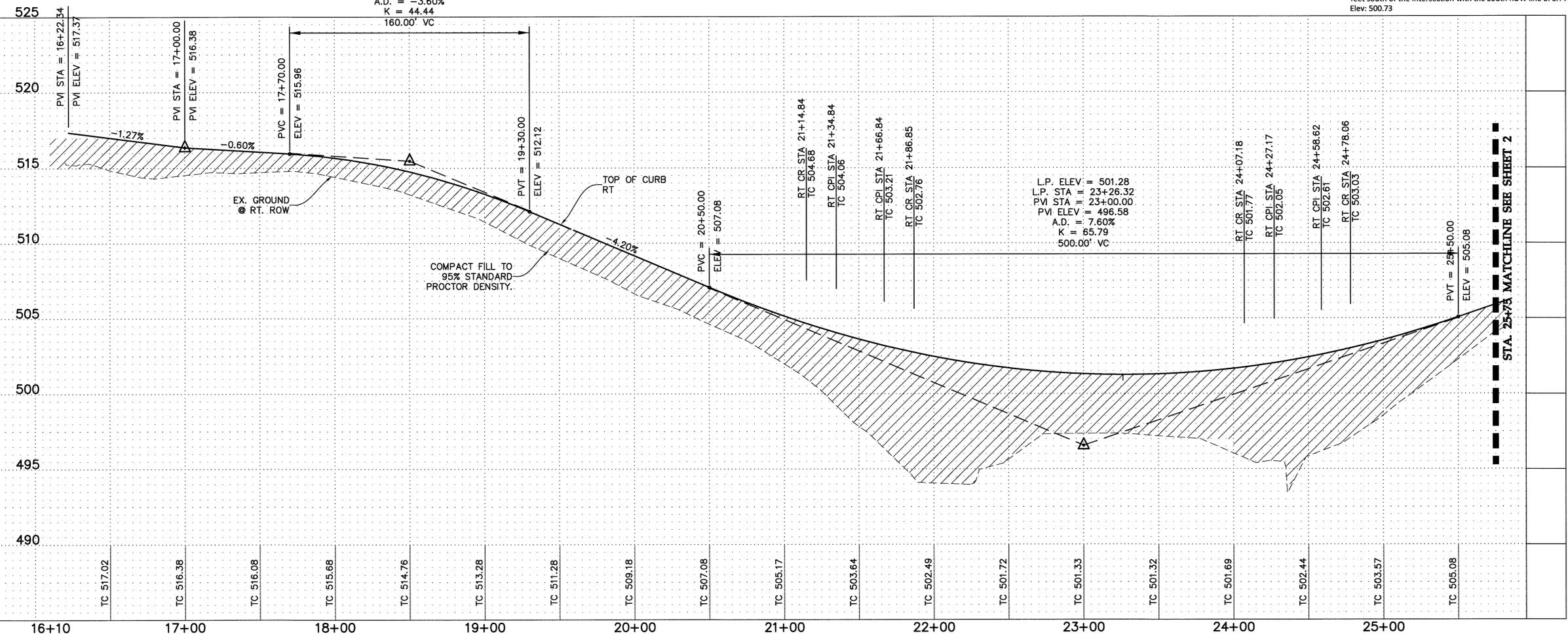
**PAVING PLAN 1**

Preliminary

Date: 03/14/2016  
Sheet: 1 OF 11

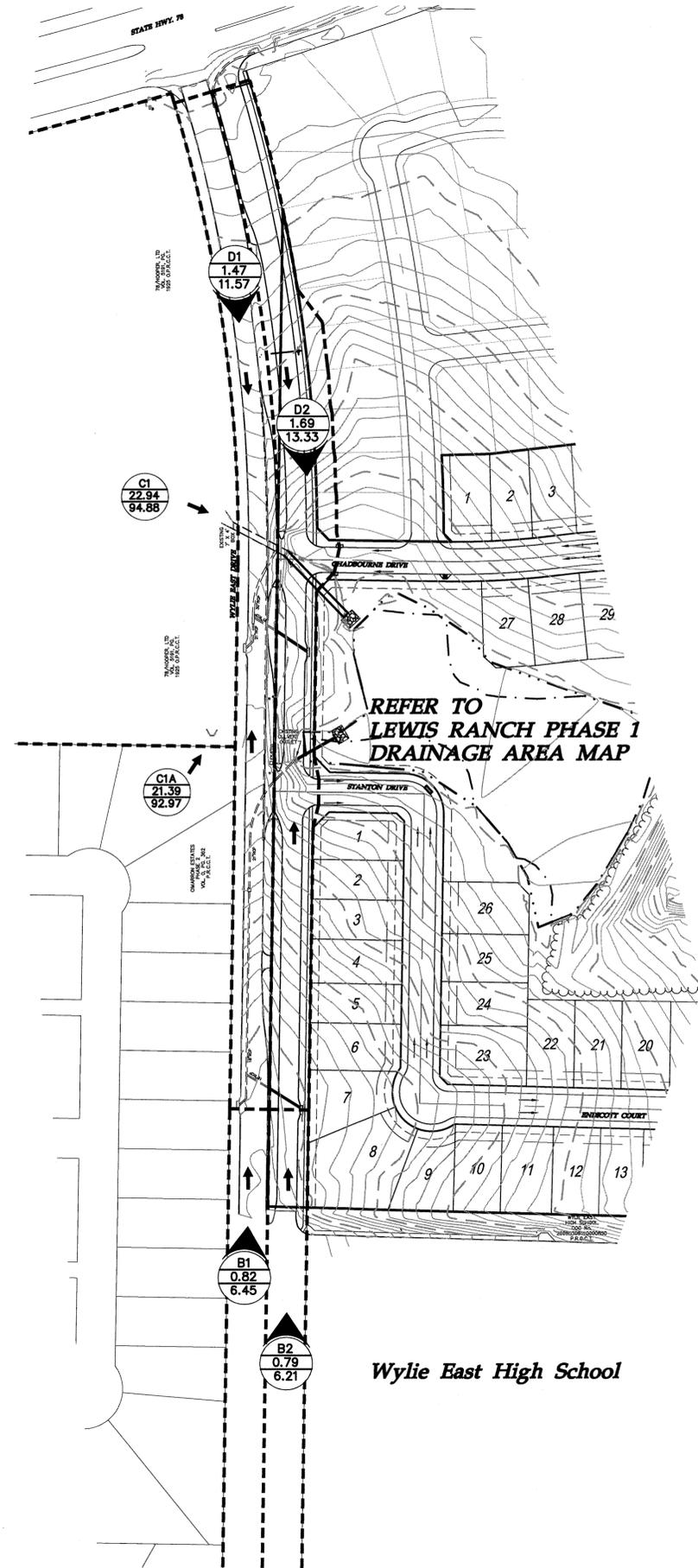


H.P. ELEV = 515.96  
H.P. STA = 17+70.00  
PVI STA = 18+50.00  
PVI ELEV = 515.48  
A.D. = -3.60%  
K = 44.44  
160.00' VC



TxDOT Brass Cap at the intersection of the South ROW line of SH 78 with the East ROW of Wylie East Drive  
Elev: 519.96  
Top of concrete headwall on the East ROW line of Wylie East Drive; approx. 610 feet south of the intersection with the South ROW line of SH 78  
Elev: 500.73





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**LEGEND**

- PROP. FLOW ARROW
- EXISTING 5' CONTOUR INTERVAL
- EXISTING 1' CONTOUR INTERVAL
- DRAINAGE AREA DIVIDE
- WATERSHED ID  
DRAINAGE AREA  
Q<sub>100</sub> RUNOFF

**SUBDIVISION**

C = 0.60   I<sub>100</sub> = 7.52   T<sub>c</sub> = 15 min

AREA	C	I <sub>100</sub>	T <sub>c</sub>	A	Q
B1	0.9	8.74	10	0.82	6.45
B2	0.9	8.74	10	0.79	6.21
D1	0.9	8.74	10	1.47	11.57
D2	0.9	8.74	10	1.69	13.66
C1	0.9	7.52	15	22.94	155.3
C1A	0.6	7.24	17.34	21.39	92.97

Ex. 10' Rec. Inlet  
Prop. 10' Rec. Inlet  
Ex. 10' Rec. Inlet  
Prop. 10' Rec. Inlet  
Ex. 7' x 4' Box  
Ex. 7' x 4' Box

AREAS B1, B2, C1, C1A FROM RECORD DRAWING  
STONE STREET DRAINAGE AREA MAP PLANS  
BY RLK ENGINEERING, INC., DATED JULY 23, 2007  
AREA C1A EX. FLOW CIMARRON ESTATES  
AREA C1 FUTURE DETENTION REQUIRED

**BENCHMARKS**

TxDOT Brass Cap at the intersection of the South ROW line of SH 78 with the East ROW of Wylie East Drive  
Elev: 519.96

Top of concrete headwall on the East ROW line of Wylie East Drive; approx. 610 feet south of the intersection with the South ROW line of SH 78  
Elev: 500.73

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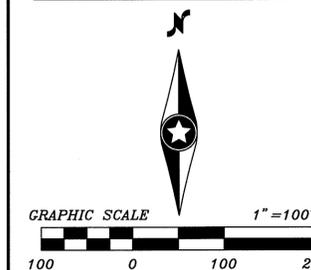
Designed: DSW  
Checked: BFP  
Drawn: DSW  
Record Drawing by/date: \_\_\_\_\_

Revisions:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

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Engineering Reg. No: 58877  
Date: 03/14/2016  
Westwood Professional Services, Inc. State of Texas  
Firm Registration #F-11756

Prepared for:

**Bloomfield Homes, L.P.**  
1050 E Highway 114, Suite 210  
Southlake, TX 76092



**Wylie East Drive**

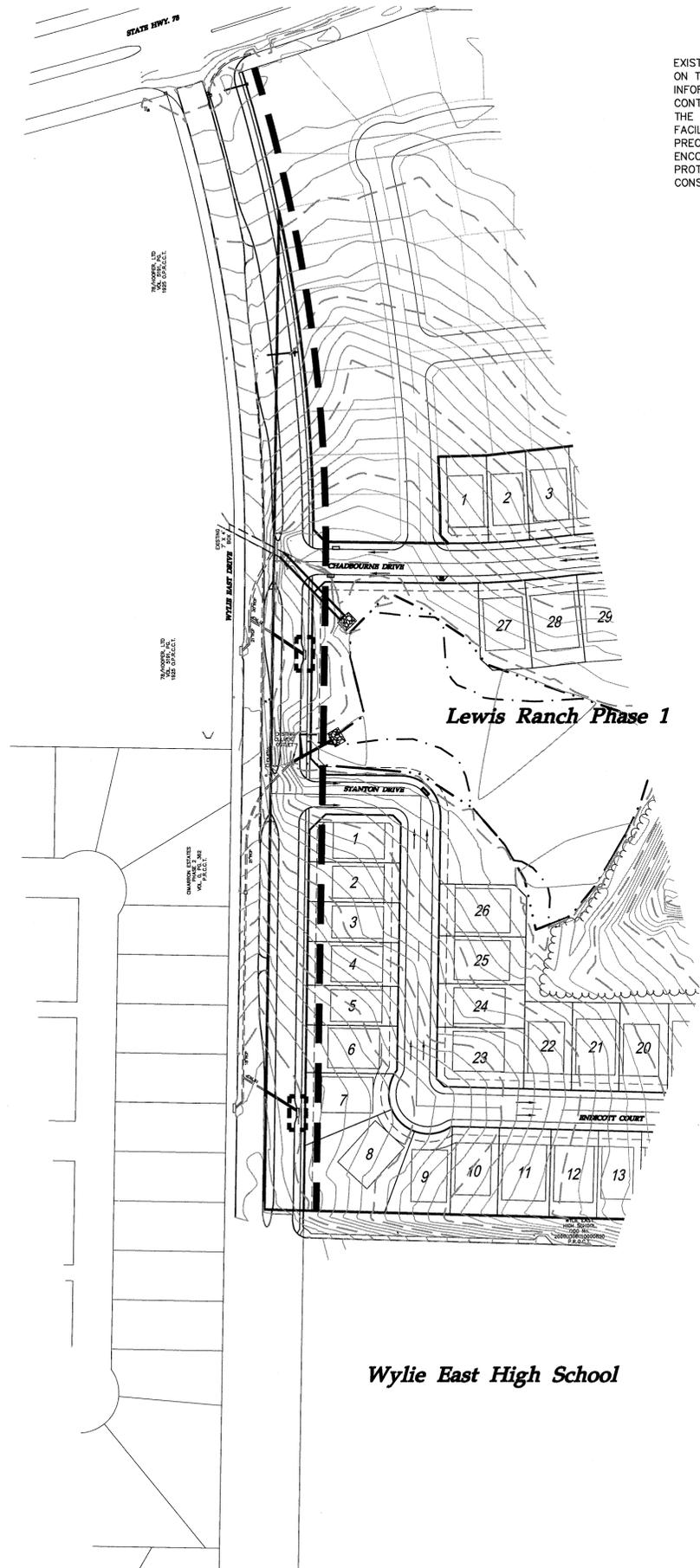
City of Wylie,  
Collin County, TX

**DRAINAGE AREA MAP**

**Preliminary**

Date: 03/14/2016  
Sheet: 3 OF 11



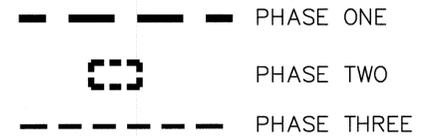


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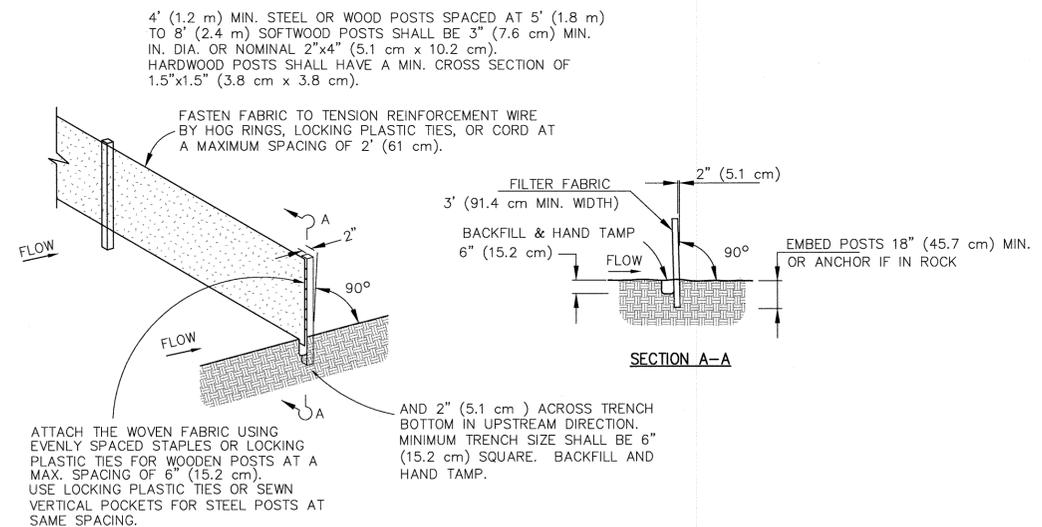
**CONSTRUCTION NOTES:**

- Silt fences shall be installed as shown in detail.
- Contractor will install additional erosion control where erosion protection is needed as per the owners engineers, or the City inspector.
- The existing vegetation along existing parkways and medians shall be replaced to its original condition or better.
- All drainage swales shall be grassed as per City Standards, prior to the City acceptance of project.
- All construction erosion control shall meet City Ordinance.
- Erosion construction shall be completed in the following PHASES:  
 PHASE 1 (Prior To Start Of Rough Grading)  
 PHASE 2 (After utility construction & prior to paving const.)  
 PHASE 3 (After paving construction)

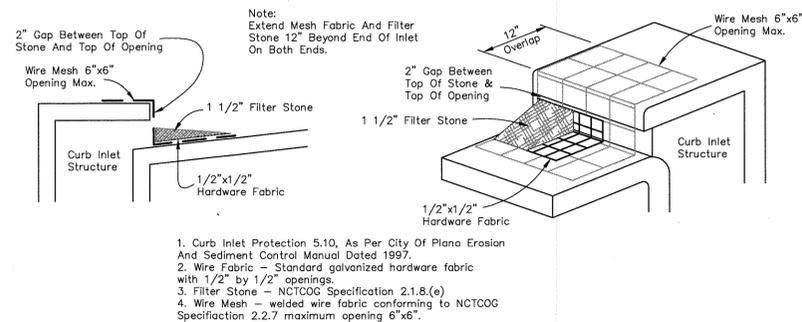


**SEQUENCE OF CONSTRUCTION**

- EXCAVATION OF STREETS & LOTS
- INSTALLATION OF UTILITIES
- STREET PAVING



**SILT FENCE**  
Not To Scale



**PHASE 3-NEW CURB INLET PROTECTION PHASING**  
Not to Scale

**BENCHMARKS**

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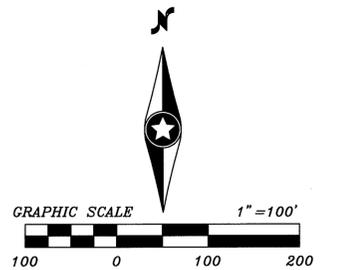
Revisions:


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Prepared for:

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1050 E Highway 114, Suite 210  
Southlake, TX 76092



**Wylie East Drive**

City of Wylie,  
Collin County, TX

**EROSION CONTROL PLAN**

Preliminary

Date: 03/14/2016  
Sheet 5 OF 11

## PAVING NOTES

1. CONCRETE FOR ALL STREETS AND PRIVATE DEVELOPMENTS SHALL BE IN ACCORDANCE WITH NCTCOG, FOURTH EDITION OR AS AMENDED CLASS "C" CONCRETE (SIX SACK 3,600 P.S.I.) ITEM 303.3.4.2(a) AND ITEM 303.5.6.2 HAND.
  2. REINFORCING STEEL SHALL BE DEFORMED BARS NO. 3 ON 18 INCH CENTERS OR NO. 4 BARS ON 24 INCH CENTERS. REINFORCING SHALL BE IN BOTH DIRECTIONS ON CENTER. REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ASTM 615, 616 AND 617.
  3. ALL REINFORCING STEEL SHALL BE TIED (100%). REINFORCING STEEL SHALL BE SET ON PLASTIC CHAIRS. BAR LAPS SHALL BE MINIMUM 30 DIAMETERS. NO STEEL SHALL BE PLACED UNTIL THE SUBGRADE HAS BEEN TESTED AND PASSED.
  4. EXPANSION JOINTS SHALL BE SPACED EVERY 600 FEET, AT ALL INTERSECTIONS AND CHANGES IN DIRECTION OF PAVING. ALLEYS SHALL HAVE A MINIMUM OF TWO EXPANSION JOINTS.
  5. SAWED TRANSVERSE DUMMY JOINTS SHALL BE SPACED EVERY 15 FEET OR 1.25 TIMES LONGITUDINAL JOINT SPACING WHICHEVER IS LESS. SAWING SHALL OCCUR WITHIN 5 TO 12 HOURS AFTER THE POUR INCLUDING SEALING.
  6. SUBGRADE UNDER PAVEMENTS SHALL BE A MINIMUM OF 7 INCHES OF LIME TREATED SUBGRADE. ONLY HYDRATED LIME SHALL BE UTILIZED. OPTIMUM LIME SHALL BE APPLIED. OPTIMUM LIME CONTENT SHALL BE DETERMINED DURING THE EXCAVATION BY THE USE OF A LIME SERIES TEST. LIME SERIES TEST SHALL BE TAKEN ALONG THE EXCAVATION AT ALL CHANGES IN SOIL AND A MINIMUM OF 300 FEET. LIME SERIES SHALL BE COMPLETED BY AN INDEPENDENT LABORATORY APPROVED BY THE CITY. 41#/#SY MAY BE USED IN LIEU OF LIME SERIES TESTING. SUBGRADE SHALL BE COVERED WITH PAVING WITHIN 14 DAYS OR SUBGRADE SHALL BE REWORKED AND RETESTED.
  7. LIME TREATED SUBGRADE SHALL BE COMPACTED TO A DENSITY OF NOT LESS THAN 95 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY ASTM D 698. MOISTURE CONTENT SHALL BE WITHIN -2 TO +4 OF OPTIMUM. DENSITY TEST RESULTS SHALL BE COMPLETED BY AN INDEPENDENT LABORATORY APPROVED BY THE CITY. ALL RESULTS SHALL BE PROVIDED TO THE CITY. SUBGRADE TESTING SHALL BE IN ACCORDANCE WITH NCTCOG ITEM 303.5.1 SUBGRADE.
  8. LIME TRIMMINGS ARE NOT ACCEPTABLE FOR ANY USE.
  9. ALL FILL SHALL BE COMPACTED BY MECHANICAL METHODS. MAXIMUM LOOSE LIFT FOR COMPACTION SHALL BE 8 INCHES. ALL LIFTS SHALL BE TESTED FOR DENSITY BY AN INDEPENDENT LABORATORY APPROVED BY THE CITY. DENSITY REQUIREMENT SHALL BE AS SHOWN ON THE PLANS FOR THE TYPE OF MATERIAL CALLED FOR IN THE PLANS.
  10. ALL DISTURBED AREAS OF ROADWAY WORK SHALL HAVE GRASS ESTABLISHED IMMEDIATELY. GRASS SHALL MEET THE REQUIREMENTS OF ITEM 202, LANDSCAPING, OF NCTCOG SPECIFICATIONS, FOURTH EDITION OR AS AMENDED.
  11. ALL AREAS TO BE EXCAVATED OR FILLED SHALL HAVE EROSION CONTROL PLACED PRIOR TO COMMENCING EARTHWORK. EROSION CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT THE PROJECT IN ACCORDANCE WITH NCTCOG ITEM 201, FOURTH EDITION OR AS AMENDED.
  12. ALL SIDEWALKS SHALL BE 5' WIDE AND INCLUDE BARRIER FREE RAMPS AT INTERSECTING STREETS, ALLEYS, DRIVEWAYS, ETC. BARRIER FREE RAMPS SHALL MEET CURRENT ADA REQUIREMENTS, BE INSTALLED BY THE DEVELOPER AND MEET THE TEXAS DEPT. OF LICENSING REGULATIONS.
  13. SIDEWALKS SHALL BE DOWELED INTO PAVEMENT WHERE IT ABUTS DRIVEWAYS. EXPANSION JOINT MATERIAL SHALL BE USED AT THESE LOCATIONS.
  14. NO VEHICLES SHALL BE PERMITTED ON CONCRETE PAVEMENT WITHOUT APPROVAL FROM THE CITY. THE CITY WILL MAKE DETERMINATION BASED ON CONCRETE BREAK REPORT.
  15. CONCRETE MIX DESIGN SHALL BE SUBMITTED FOR REVIEW PRIOR TO PRECONSTRUCTION MEETING. REVISE THE FIRST PARAGRAPH OF NCTCOG SPEC. 303.2.1.3 COARSE AGGREGATE TO READ "CRUSHED LIMESTONE SHALL CONSTITUTE 100% OF THE COARSE AGGREGATE.
  16. ALL PAVING FOR PARKING SHALL BE MIN. 5" THICK 3,600 P.S.I. CONCRETE SUBJECT TO CITY ENGINEER APPROVAL.
  17. ALL AREAS NOT UNDER PAVING, INCLUDING ALL FRANCHISE UTILITY EASEMENTS, SHALL BE COMPACTED TO A DENSITY OF NOT LESS THAN 92 PERCENT OF THE MAXIMUM DENSITY.
  18. CONCRETE PLANTS SHALL CONFORM TO TXDOT 1993 EDITION ITEMS 520 AND 522.
  19. ANY CURB AND/OR STREET SECTION REMOVED FOR THE CONSTRUCTION OF A PRIVATE DRIVEWAY SHALL NOT BE REMOVED PRIOR TO 7 DAYS OF CONSTRUCTION OF THE DRIVEWAY. IF THE DRIVEWAY IS NOT CONSTRUCTED WITHIN THIS TIME FRAME AND EXCAVATION HAS BEEN MADE, EXCAVATION SHALL BE REPLACED UNTIL SUCH TIME CONSTRUCTION COMMENCES.
  20. MAXIMUM TEMPERATURE OF THE CONCRETE FOR PLACEMENT SHALL BE 95° F AS SPECIFIED IN TXDOT 2004 EDITION ITEM 360.4 PARAGRAPH G.4 TEMPERATURE RESTRICTIONS.
  21. PAVING EQUIPMENT REQUIRED SHALL BE AS SPECIFIED IN TXDOT 2004 EDITION UNDER ITEM 360.3
  22. WATER INJECTION OF SUBGRADE BY CITY ENGINEER APPROVAL ONLY.
  23. SUBGRADE UNDER FIRE LANES SHALL MEET THE PAVING SUBGRADE REQUIREMENTS OR ONE ADDITIONAL INCH OF CONCRETE MAY BE USED.
  24. SUBGRADE UNDER PARKING AREAS SHALL BE DETERMINED BY A GEOTECH REPORT.
- ### LINED CHANNELS
1. CONSTRUCTION JOINT SHOWN IN DETAILS FOR CONVENIENCE ONLY, MONOLITHIC CONSTRUCTION MAY BE USED.
  2. ALL VISIBLE SURFACES SHALL BE A TROWEL FINISH.
  3. ALL REINFORCING STEEL SHALL BE 3/8" DIAMETER AND SPACED 12" CENTER TO CENTER BOTH WAYS UNLESS OTHERWISE SPECIFIED.
  4. IF WOOD FORMS ARE USED WITH CONSTRUCTION JOINT, THEY SHALL BE TWO, 2"x4", AND SHALL NOT BE REMOVED UNTIL CONCRETE ON SLOPES IS READY TO BE PLACED.

5. ALL CONCRETE IN LINED CHANNEL SHALL BE NCTCOG CLASS "A" (MINIMUM 3,000 P.S.I.) CONCRETE.
6. FLAT BOTTOM TO BE CONSTRUCTED WHEN CHANNEL WIDTH IS LESS THAN 12 FOOT.
7. 3/4" CHAMFER ON ALL CONCRETE CORNERS.

## STORM SEWER

1. THE FLOOR OF THE EXCAVATION FOR INLET BOX MUST PROVIDE A FIRM, LEVEL BED FOR THE BASE SECTION TO REST UPON.
2. A MINIMUM OF 6 INCHES OF 1" DIAMETER (MAXIMUM) ROCK OR GRAVEL SHALL BE USED TO PREPARE THE BEDDING TO FINAL GRADE OR IN LIEU OF THIS, AT LEAST 6 INCHES OF 2-SACK CEMENT STABILIZED SAND SHALL BE USED TO PREPARE THE BEDDING TO GRADE. CEMENT STABILIZED-SAND SHALL BE ALLOWED TO SET BY KEEPING HOLE PUMPED DRY.
3. AFTER PIPE HAS BEEN LAID ON PROPER BEDDING, BACKFILLING TO COMMENCE WITH 8" MAXIMUM LOOSE LIFTS MECHANICALLY COMPACTED TO 95% STANDARD PROCTOR UNDER ROADWAY OR 12" MAXIMUM LOOSE LIFT BEHIND CURB. MAXIMUM SIZE ROCK IN BACKFILL SHALL NOT EXCEED 4 INCHES IN DIAMETER.
4. PRECAST INLETS MUST BE APPROVED BY THE CITY.
5. CONCRETE TO BE MINIMUM 4,200 P.S.I.
6. LOCKING DEVICE IS REQUIRED ON ALL STORM SEWER LIDS.
7. "NO DUMPING" WARNING PLAQUE TO BE INSTALLED ON ALL STANDARD AND RECESSED INLETS.
8. CONCRETE CAST-IN-PLACE INLETS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,200 P.S.I. @ 28 DAYS.
9. DELETED
10. EXISTING STORM SEWER PIPE AND/ OR LATERALS SHALL BE LOCATED PRIOR TO SETTING OR CONSTRUCTING INLET BOXES. IF ADJUSTMENT IN GRADE OF LATERAL IS REQUIRED, A REVISED DESIGN BY THE ENGINEER OF RECORD SHALL BE SUBMITTED TO THE CITY FOR APPROVAL.
11. REINFORCED CONCRETE PIPE CLASS III IS APPROVED WITHIN THE CITY.
12. COLOR TV INSPECTION SHALL BE COMPLETED ON THE STORM SEWER IN THE PRESENCE OF CITY REPRESENTATIVE AND THE ORIGINAL MEDIA SHALL BE GIVEN TO THE CITY AT THE COMPLETION OF THE INSPECTION.
13. YOUR ATTENTION IS DIRECTED TO SUBDIVISION ORDINANCE SECTION 5.9.C STORM DRAINAGE AND WATER QUALITY CONTROLS. IN THE ELEVENTH MONTH OF THE SECOND YEAR OF THE REQUIRED TWO-YEAR MAINTENANCE BOND, THE DEVELOPER SHALL BE RESPONSIBLE FOR REMOVING ANY SIGNIFICANT BUILD-UP OF SEDIMENT OR DEBRIS FROM DRAINAGE IMPROVEMENTS WITH EXCEPTIONS AS DESIGNATED. THE FUNDING SHALL BE BORNE BY THE DEVELOPER AND SHALL BE ACCOMPLISHED BY COLOR TV INSPECTION IN THE PRESENCE OF A CITY REPRESENTATIVE AND THE ORIGINAL MEDIA SHALL BE GIVEN TO THE CITY AT THE COMPLETION OF THE INSPECTION.

## SANITARY SEWER

1. ALL SEWER LINES CROSSING POTABLE WATERLINES SHALL BE AS SHOWN IN THE PLANS AND MEET TCEQ REQUIREMENTS.
2. PIPES 8 INCHES THROUGH 15 INCHES SHALL BE IN ACCORDANCE WITH ASTM D3034 WITH A MINIMUM SDR OF 35 OR ASTM D3350 AND DE 345434 C.
3. PIPES LARGER THAN 12 INCHES THROUGH 48 INCHES SHALL BE IN ACCORDANCE WITH ASTM STANDARDS F679, F794, F949 AND D3350/ DE 345434 C.
4. MANHOLES SHALL BE PRECAST. ALL MANHOLES SHALL BE WATER TIGHT. PRECAST MANHOLES SHALL HAVE JOINTS SEALED. ALL RING AND COVERS SHALL INCLUDE AN INTERNAL CHIMNEY SEAL.
5. ALL PIPE OPENINGS IN MANHOLES SHALL INCLUDE COUPLINGS WITH "O" RING RUBBER GASKETS.
6. STUBOUTS OUT OF MANHOLES SHALL BE FITTED WITH A STOPPER AND CAP. STUBOUTS SHALL BE A MINIMUM OF 5 FEET FROM MANHOLE AND BE SUPPORTED BY A CONCRETE CRADLE.
7. ALL DROP MANHOLES SHALL BE OF THE EXTERNAL TYPE.
8. MANHOLES SHALL BE VENTED IN ACCORDANCE WITH TCEQ REQUIREMENTS.
9. ALL SANITARY SEWER PIPE SHALL BE TESTED (NCTCOG ITEM 507.5) AFTER CONSTRUCTION. TESTING SHALL INCLUDE PRESSURE TESTING, MANDREL TEST (TCEQ REQUIRED) AND COLOR TV INSPECTION. COLOR TV INSPECTION SHALL BE COMPLETED IN PRESENCE OF CITY REPRESENTATIVE AND THE ORIGINAL MEDIA SHALL BE GIVEN TO THE CITY AT THE COMPLETION OF THE INSPECTION.
- SEWER SHALL BE RE-INSPECTED AFTER INSTALLATION OF FRANCHISE UTILITIES. AIR TEST ONLY.
10. MANHOLES SHALL BE VACUUM TESTED IN THE PRESENCE OF THE CITY REPRESENTATIVE.
11. NO END-OF-LINE CLEANOUTS WILL BE ALLOWED. TERMINATE SEWER LINES WITH A MANHOLE.

## ILLUMINATION

1. STREET LIGHT FOUNDATIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH TXU ELECTRIC DETAIL AND NOTES FOR 25' OR 30' MOUNTING HEIGHT ROUND STEEL POLE.
2. PROVIDE SQUARE CONCRETE MOW STRIP 18" FROM OUTSIDE OF POLE TO CORNER USING 3,000 P.S.I. CONCRETE WITH #3 BARS @ 18" AND 1/2" EXPANSION JOINT.
3. SUBDIVISION STREET LIGHTING TO CONFORM TO THE ZONING ORDINANCE. "DECORATIVE STREET LIGHTING SHALL BE PROVIDED ALONG RESIDENTIAL STREETS THROUGHOUT ALL RESIDENTIAL DEVELOPMENTS, PROVIDING LOW ILLUMINATION WITH SOLAR CONTROLS ON DECORATIVE POLES WITH SPACING RANGING FROM 250 FEET TO 350 FEET BETWEEN LIGHTS PLACED ON ALTERNATING SIDES OF THE STREET. A STREET LIGHTING PLAN MUST BE SUBMITTED TO THE CITY ENGINEER FOR APPROVAL. THE CITY ENGINEER IS AUTHORIZED TO ALTER THE DISTANCE REQUIREMENT IF NEEDED IN AN EFFORT TO ACHIEVE THE BEST LIGHTING ARRANGEMENT POSSIBLE."

## DETAILS

SPECIAL DETAILS OR MODIFICATIONS TO THESE STANDARD DETAILS TO BE UTILIZED ON ANY GIVEN PROJECT SHALL BE SUBMITTED TO THE CITY FOR APPROVAL FOR USE.

## STREET SIGN SPECIFICATIONS:

STREET NAME SIGNS FOR ALL INTERSECTIONS BY THE CONSTRUCTION OF A SUBDIVISION SHALL BE FURNISHED AND INSTALLED BY THE DEVELOPER. THE INSTALLATION OF THE STREET SIGNS MUST BE PRIOR TO THE FINAL ACCEPTANCE OF THE SUBDIVISION. THE LEGEND SHALL CONTAIN THE NAME OF THE STREET, ANY SUFFIX AS DESIGNATED ON THE PLAT, AND THE BLOCK NUMBER AS ASSIGNED BY THE CITY. THE SIGN FACE SHALL BE HIP PRISMATIC WHITE W/BBLUE EC FILM WITH CITY LOGO. THE SIGN PLATE SHALL BE 9 INCHES TALL AND 0.080 INCHES THICK FLAT BLADE ALUMINUM DRILLED. THE STREET NAME SHALL BE 6 INCH UPPER CASE LETTERS. THE SUFFIX AND BLOCK LETTERS SHALL BE 3 INCHES. ALL LETTERS SHALL BE WHITE. THE SIGNS SHALL BE MOUNTED ON A 2 INCH BY 12 FOOT SQUARE POST WITH A 2.25 INCH BY 36 INCH SQUARE GROUND ANCHOR AND 2.5 INCH BY 18 INCH SLEEVE. THE ANCHOR POST SHALL BE DRIVEN INTO THE GROUND AT A DEPTH OF 30 INCHES. THE STREET NAME SHALL BE MOUNTED 10 FEET FROM THE TOP OF THE CURB MEASURED TO THE BOTTOM OF THE LOWEST SIGN. SIGNS SHALL BE MOUNTED ON SQUARE POSTS USING DRIVE RIVETS, WASHER, SPACE AND CHERRY MATE RIVETS TO ATTACH ENDS OF SIGN TOGETHER.

## WATER

1. ALL WATER LINE CROSSINGS OF SANITARY SEWER LINES SHALL BE AS SHOWN IN THE PLANS AND MEET TCEQ REQUIREMENTS.
2. PIPES 12 INCHES IN DIAMETER AND SMALLER SHALL BE POLYVINYL CHLORIDE (P.V.C.) MEETING THE REQUIREMENTS OF AWWA C900 DR 18 OR DUCTILE IRON PIPE (D.I.P.) MEETING THE REQUIREMENTS OF AWWA C 151 CLASS 50 PIPE. ALL D.I.P. SHALL BE WRAPPED WITH A POLYETHYLENE LINER.
3. FOR PIPES LARGER THAN 12 INCHES IN DIAMETER, THE PIPE SHALL BE REINFORCED CONCRETE CYLINDER PIPE (AWWA C301 OR AWWA C303), DUCTILE IRON PIPE (AWWA C151 CLASS 50) OR POLYVINYL CHLORIDE PIPE UP TO 18 INCHES MEETING THE REQUIREMENTS OF AWWA C905 - 235 P.S.I. RATED PIPE.
4. ALL VALVES ON PIPES 12 INCHES AND SMALLER SHALL BE RESILIENT SEALED WEDGE VALVES (AWWA C509).
5. ALL VALVES ON PIPES LARGER THAN 12 INCHES BUT SMALLER THAN 30 INCHES SHALL BE BUTTERFLY VALVES (AWWA C504) OR WEDGE VALVES (AWWA C509).
6. ALL VALVES ON PIPES 30 INCHES AND LARGER SHALL BE BUTTERFLY VALVES (AWWA C504).
7. EMBEDMENT SHALL BE AS SHOWN IN THE PLANS. BACKFILL WITHIN THE LIMITS OF EXISTING AND PROPOSED PAVEMENT SHALL BE COMPACTED TO 95% STANDARD PROCTOR. OUTSIDE PAVEMENT (EXISTING OR PROPOSED) SHALL BE COMPACTED TO MINIMUM OF 92% STANDARD PROCTOR. ALL COMPACTION SHALL BE BY MECHANICAL METHODS.
8. WATER LINES SHALL BE PRESSURE TESTED IN ACCORDANCE WITH NCTCOG ITEM 506. ALL WATER LINES SHALL BE SWABBED IN THE PRESENCE OF THE INSPECTOR PRIOR TO BACKFILLING.
9. ALL HORIZONTAL AND VERTICAL BENDS SHALL BE BLOCKED.
10. ALL FITTINGS SHALL INCLUDE MEGALUG CONNECTORS.
11. ALL FIRE HYDRANTS SHALL BE INSTALLED WITH A 24" x 24" SQUARE REINFORCED CONCRETE PAD.
12. ALL WATER LINES SHALL BE SWABBED IN THE PRESENCE OF THE INSPECTOR PRIOR TO BACKFILL.

## SCREENING WALLS

1. CONCRETE - MINIMUM COMPRESSIVE STRENGTH OF 3,000 P.S.I. @ 28 DAYS.
2. REINFORCEMENT - ASTM A-36.
3. MASONRY - COMPRESSIVE STRENGTH SHALL BE PRESCRIBED IN ITEM 2.3.6 SPECIAL PROVISIONS.
4. WIND LOAD FOR DESIGN - 20 P.S.F.
5. PIER BEARING STRESSES - SEE BRICK SCREENING WALL NOTES.
6. MORTAR - TYPE "S".
7. PROVIDE CONTROL JOINTS AT 50 FEET.
8. PROVIDE EXPANSION JOINTS AT 200 FEET CENTER MAXIMUM.
9. PROVIDE PIER WITH MINIMUM 9 FOOT W/ 24 INCH DIAMETER BELL IN CLAY OR OTHER MATERIAL EXCEPT BLUE SHALE, 6 FOOT MINIMUM WITH 3 FOOT MINIMUM INTO BLUE SHALE.
10. ALL EXPOSED CONCRETE SHALL BE CLASS 2 RUBBED FINISHED SURFACE.
11. SIDEWALKS ADJACENT TO WALLS MUST BE 5-FOOT MINIMUM WIDTH FROM ALL PORTIONS OF THE WALL (INCLUDING PILASTERS, COLUMNS, ETC.).
12. MAXIMUM PILASTER SPACING 40 FEET.
13. WALLS SHALL NOT BE PLACED IN THE VISIBILITY EASEMENT OR STREET RIGHT OF WAY.
14. THE WALL SHALL BE A MINIMUM OF EIGHT FEET IN HEIGHT AS MEASURED FROM THE NEAREST ALLEY EDGE OR SIDEWALK GRADE, WHICHEVER IS THE HIGHER. THE COLOR OF THE WALL SHALL BE LIMITED TO EARTH-TONE COLORS, EXCLUDING GRAY, GREEN AND WHITE. THE COLOR OF THE WALL SHALL BE UNIFORM ON EACH SIDE OF A THOROUGHFARE FOR THE ENTIRE LENGTH BETWEEN INTERSECTING THOROUGHFARES, UNLESS OTHERWISE APPROVED BY THE CITY'S PUBLIC WORKS DEPARTMENT. THE FINISH OF THE WALL SHALL BE CONSISTENT ON ALL SURFACES.
15. IF WROUGHT IRON FENCING IS TO BE UTILIZED ON REQUIRED SCREENING, ALL WROUGHT IRON MUST BE SOLID STOCK, NO TUBULAR STEEL WILL BE ALLOWED.

NO.	REVISION	BY	DATE
△	REVISED PAVING NOTES	JCH	6/30/14
△	ADD PAVING NOTE 21	JCH	7/08/09
△	ADD STORM SEWER NOTE 13	JCH	9/19/08
△	ADD PAVING NOTE 20 AND REVISE NOTE 12 & 15	JCH	8/08/08
△	ADD PAVING NOTE 19	JCH	9/12/07
△	DELETE STORM SEWER PARAGRAPH NO. 9	JCH	5/10/07
△	ADD STREET SIGN SPECIFICATIONS & ILLUMINATION REQUIREMENTS	JCH	1/5/07
△	REVISE PAVING NOTES NO. 1 & 5	JCH	5/16/06

CITY OF WYLIE, TEXAS

STANDARD CONSTRUCTION DETAILS

GENERAL NOTES

DATE: APRIL, 2005 SHEET STD-00\_R

# Wylie East Drive

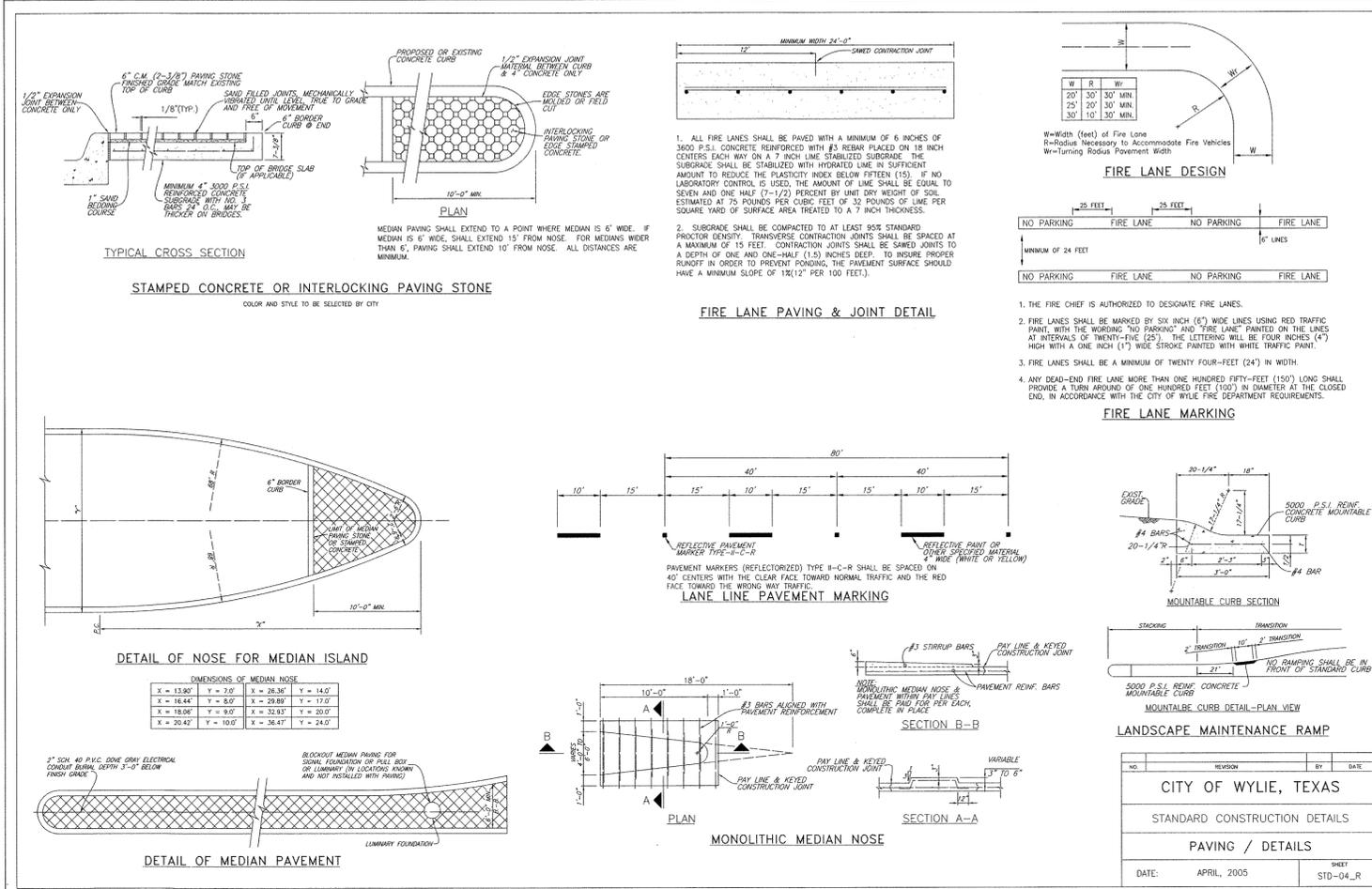
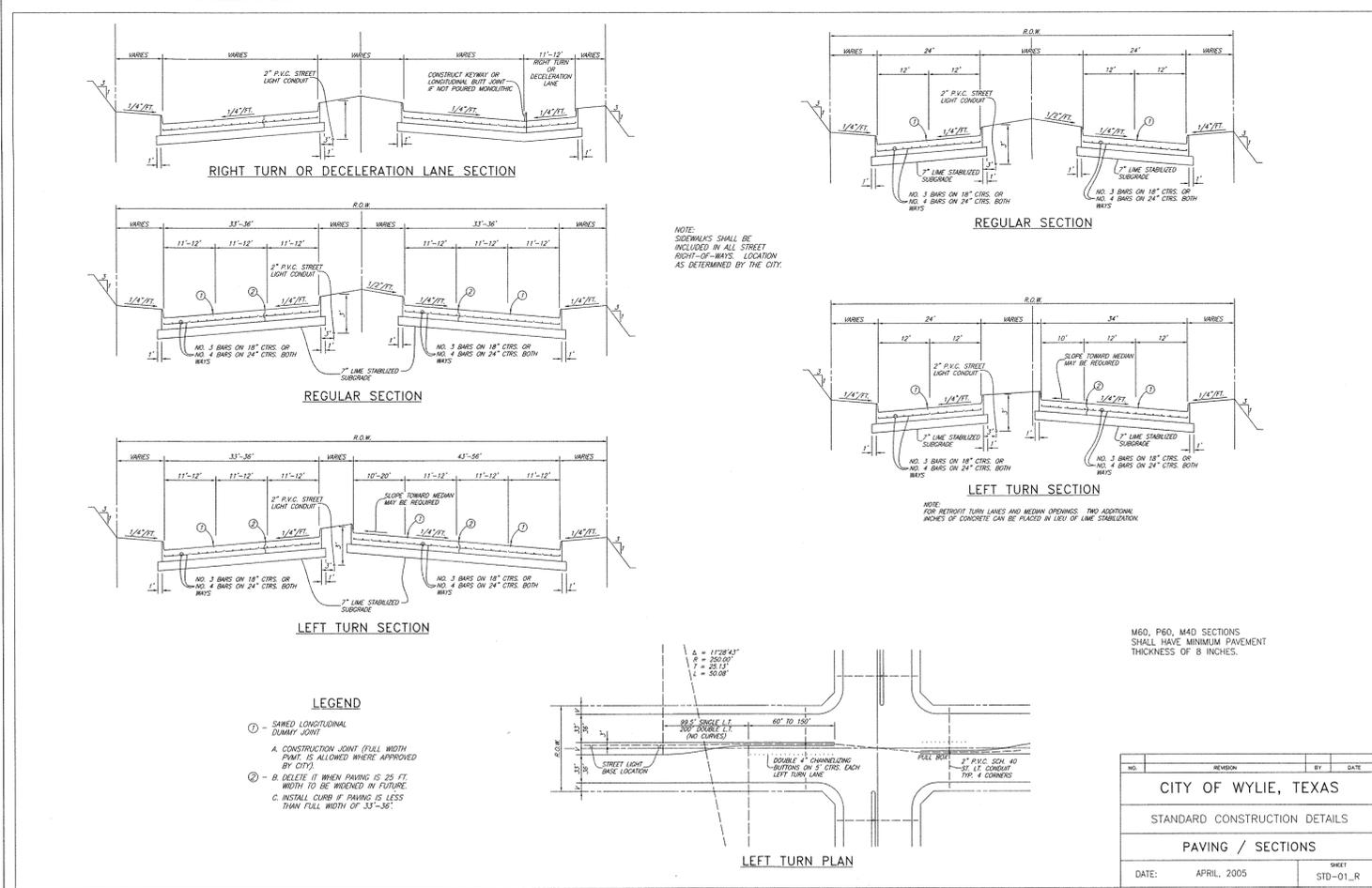
City of Wylie,  
Collin County, TX

**CITY OF WYLIE  
GENERAL NOTES**

**Preliminary**

Date: 03/14/2016

Sheet: 6 OF 11



# Westwood

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 2740 North Dallas Parkway, Suite 280  
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 Toll Free (888) 937-5150  
 FIRM NO. F-11756

westwoodps.com

**Designed:** DSW  
**Checked:** BFP  
**Drawn:** DSW  
**Record Drawing by/date:**

**Revisions:**

NO.	REVISION	BY	DATE

These documents are for Design Review and not intended for Construction, Bidding or Permit Purposes. They were prepared by, or under the supervision of:

Engineer: Richard Hovas  
 Engineering Reg. No: 58877  
 Date: 03/14/2016  
 Westwood Professional Services, Inc. State of Texas  
 Firm Registration #E-11756

Prepared for:

**Bloomfield Homes, L.P.**  
 1050 E Highway 114, Suite 210  
 Southlake, TX 76092

# Wylie East Drive

City of Wylie,  
 Collin County, TX

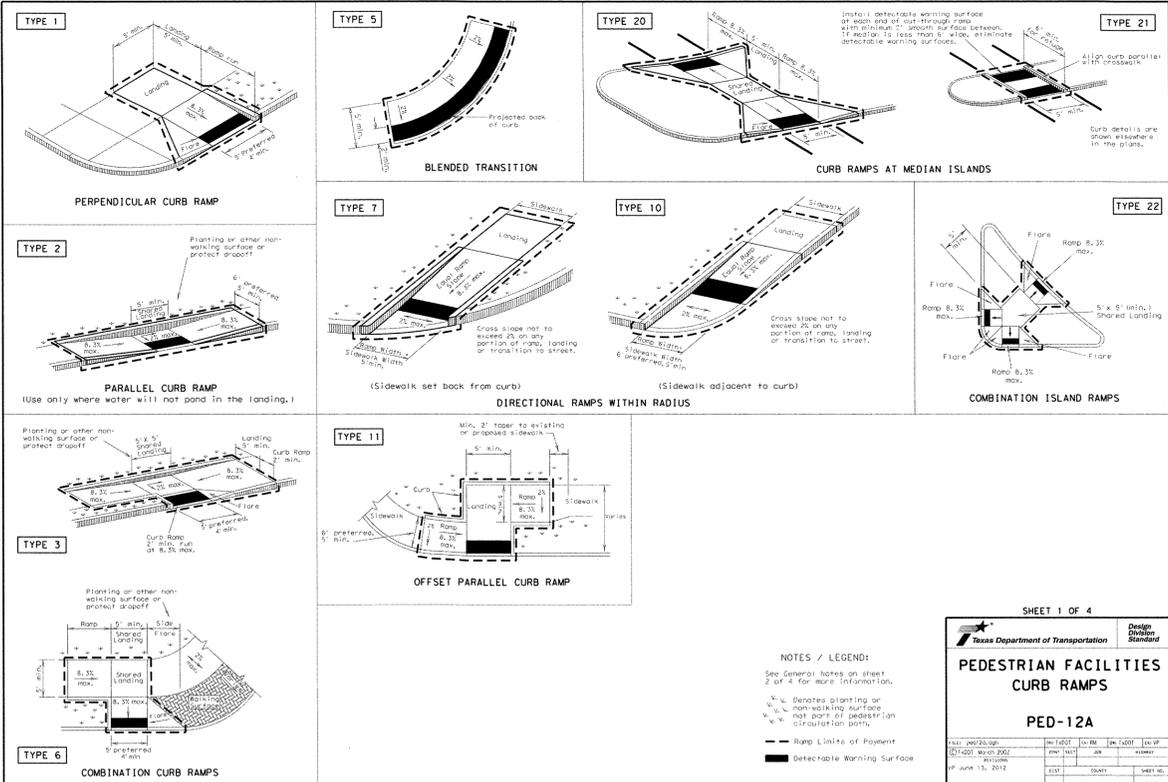
## CITY OF WYLIE DETAILS 2

### Preliminary

Date: 03/14/2016  
 Sheet: 7 OF 11





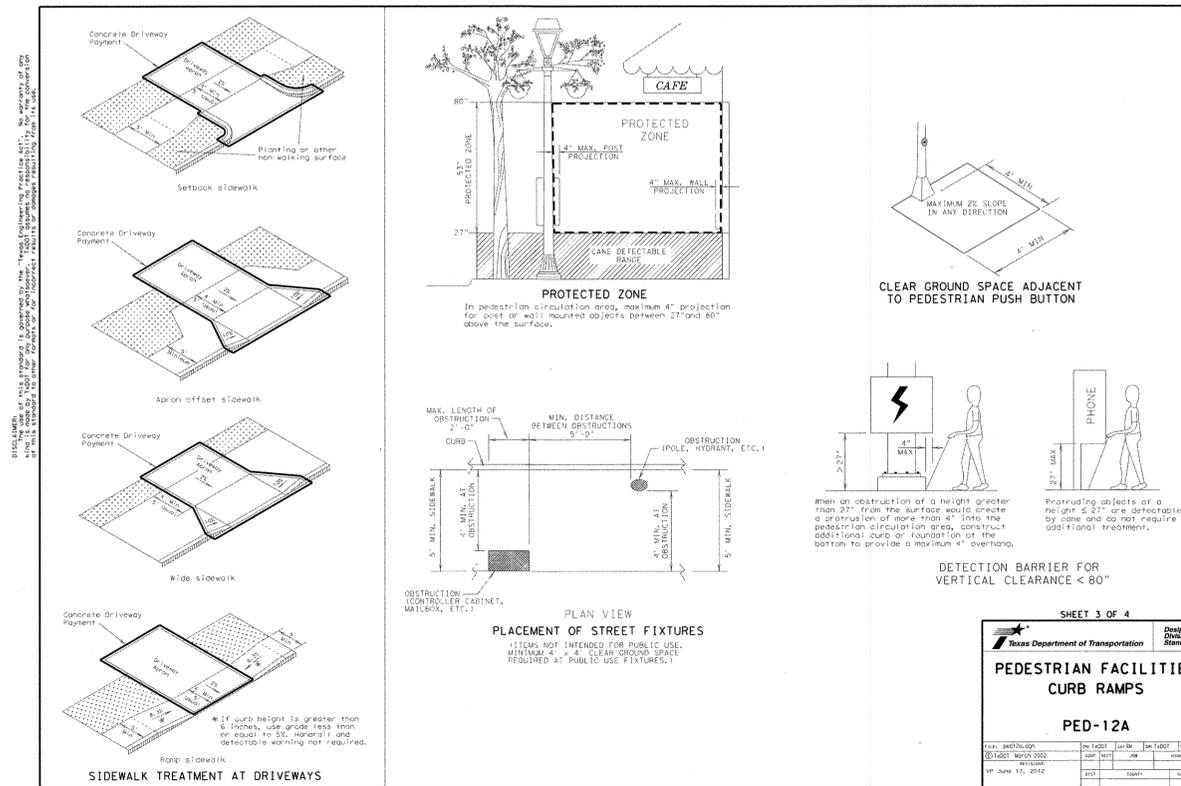
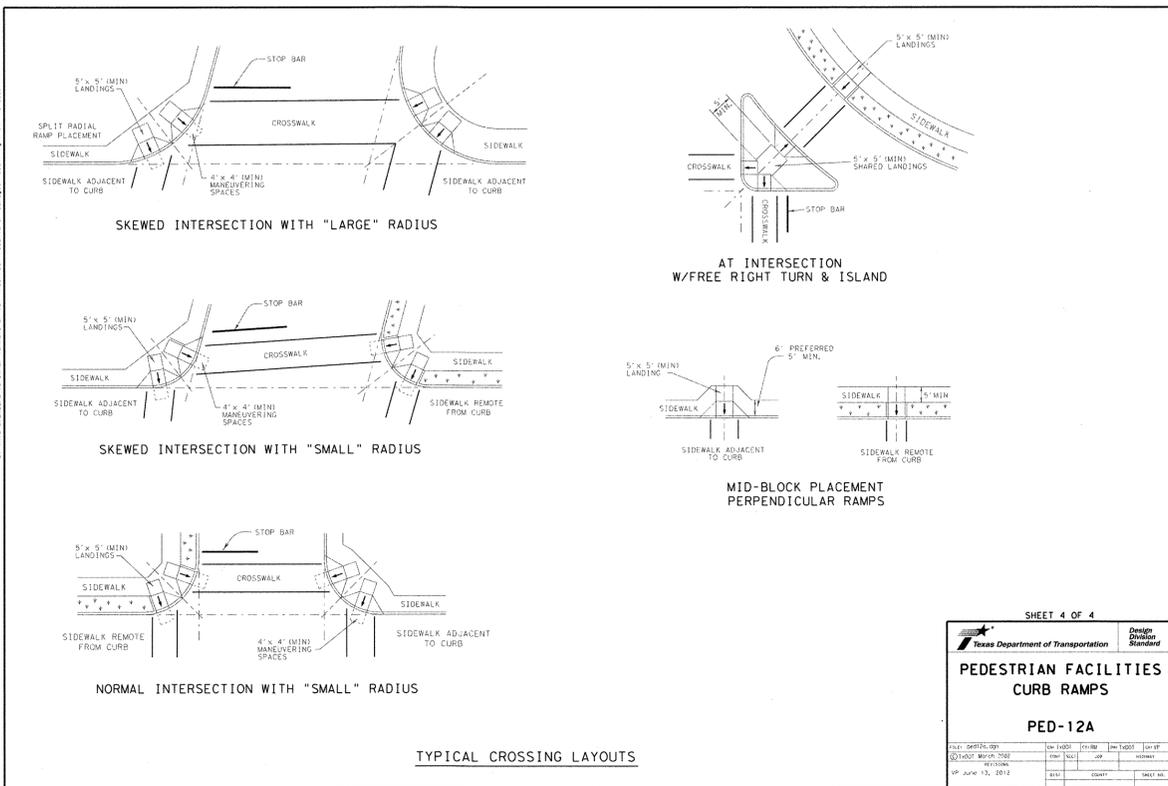
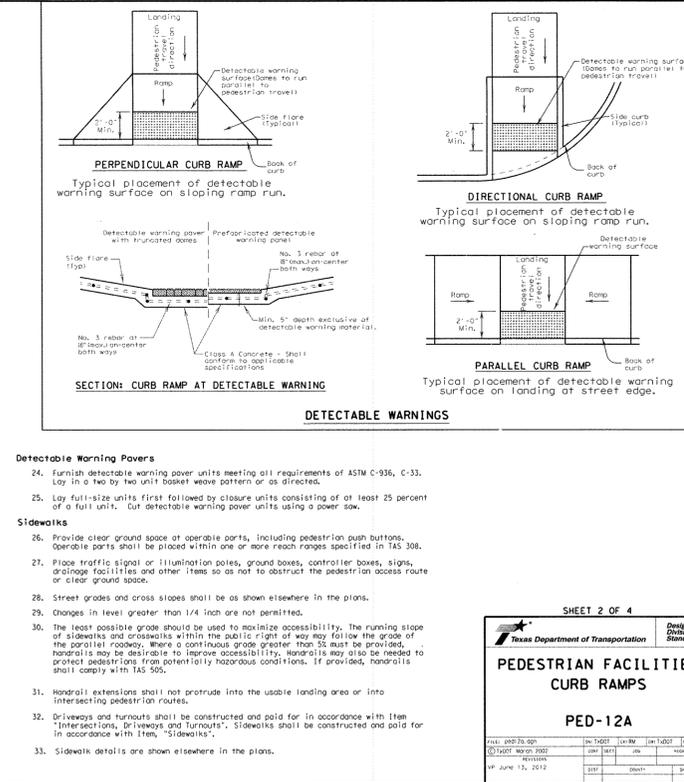


**General Notes**

1. Install a curb ramp or blended transition at each pedestrian street crossing.
2. All slopes shown are maximum allowable. Lesser slopes that will still drain properly should be used. Adjust curb ramp length or grade of approach sidewalks as directed.
3. The minimum sidewalk width is 5'. Where the sidewalk is adjacent to the back of curb, a 6' sidewalk width is desirable. Where a 5' sidewalk cannot be provided due to site constraints, sidewalk width may be reduced to 4' for short distances. 5' x 5' passing areas at intervals not to exceed 200' are required.
4. Landings shall be 5' x 5' minimum with a maximum 2% slope in any direction.
5. Manoeuvring space at the bottom of curb ramps shall be a minimum of 4' x 4' wholly contained within the crosswalk and wholly outside the parallel vehicular travel path.
6. Maximum allowable cross slope on sidewalk and curb ramp surfaces is 2%.
7. Provide flared sides where the pedestrian circulation path crosses the curb ramp. Flared sides shall be sloped at 10% maximum, measured parallel to the curb. Returned curbs may be used only where pedestrians would not normally walk across the ramp, either because the adjacent surface is planted, substantially obstructed, or otherwise protected.
8. Additional information on curb ramp location, design, light reflective value and texture may be found in the current edition of the Texas Accessibility Standards (TAS) and 16 TAC 66.102.
9. To serve as a pedestrian refuge area, the median should be a minimum of 6' wide, measured from back of curbs. Medians should be designed to provide accessible passage over or through them.
10. Seal channelization islands, which do not provide a minimum 5' x 5' landing at the top of curb ramps, shall be cut through level with the surface of the street.
11. Crosswalk dimensions, crosswalk markings and stop bar locations shall be as shown elsewhere in the plans. At intersections where crosswalk markings are not required, curb ramps shall align with theoretical crosswalks unless otherwise directed.
12. Handrails are not required on curb ramps. Provide curb ramps wherever an accessible route crosses (penetrates) a curb.
13. Curb ramps and landings shall be constructed and paid for in accordance with Item 531 "Sidewalks".
14. Place concrete to a minimum depth of 5" for ramps, flares and landings, unless otherwise directed.
15. Provide a smooth transition where the curb ramps connect to the street.
16. Curb ramps shown on sheet 1 within the limits of payment are considered part of the curb ramp for payment, whether it is concrete curb, gutter, or combined curb and gutter.
17. Existing features that comply with TAS may remain in place unless otherwise shown on the plans.

**Detectable Warning Material**

18. Curb ramps must contain a detectable warning surface that consists of raised truncated domes complying with Section 109 of the TAS. The surface must contrast visually with adjoining surfaces, including side flares. Furnish and install an approved cost-in-place dark brown or dark red detectable warning surface material adjacent to unpolished concrete, unless specified elsewhere in the plans.
19. Detectable Warning Materials must meet 1400 Departmental Materials Specification (MS-455) and be listed on the 2007 Departmental Product List. Install products in accordance with manufacturer's specifications.
20. Detectable warning surfaces must be also resistant and not allow water to accumulate.
21. Detectable warning surfaces shall be a minimum of 24" in depth in the direction of pedestrian travel, and extend the full width of the curb ramp or landing where the pedestrian access route enters the street.
22. Detectable warning surfaces shall be located so that the edge nearest the curb line is at the back of curb. Align the row of domes to be perpendicular to the grade break between the ramp run and the street. Detectable warning surfaces may be curved along the corner radius.
23. Shaded areas on Sheet 1 of 4 indicate the approximate location for the detectable warning surface for each curb ramp type.



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Designed: **D&W**  
 Checked: **BFP**  
 Drawn: **D&W**  
 Record Drawing by/date:

Revisions:


These documents are for Design Review and not intended for Construction, Bidding or Permit Purpose. They were prepared by, or under the supervision of:

Engineer: **Richard Hovas**  
 Engineering Reg. No: **58877**  
 Date: **03/14/2016**  
 Westwood Professional Services, Inc. State of Texas  
 Firm Registration: **#F-11756**

Prepared for:  
**Bloomfield Homes, L.P.**  
 1050 E Highway 114, Suite 210  
 Southlake, TX 76092

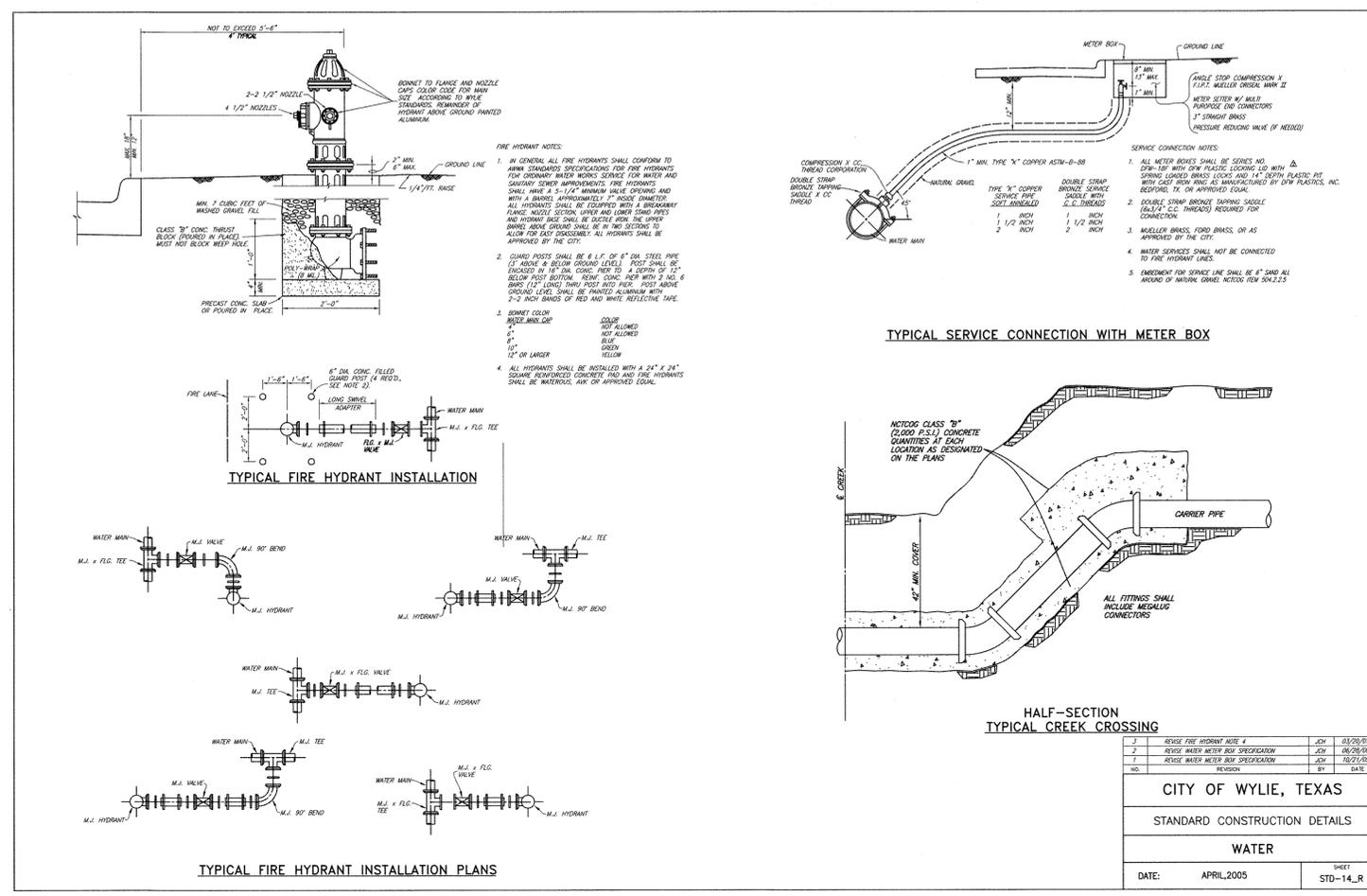
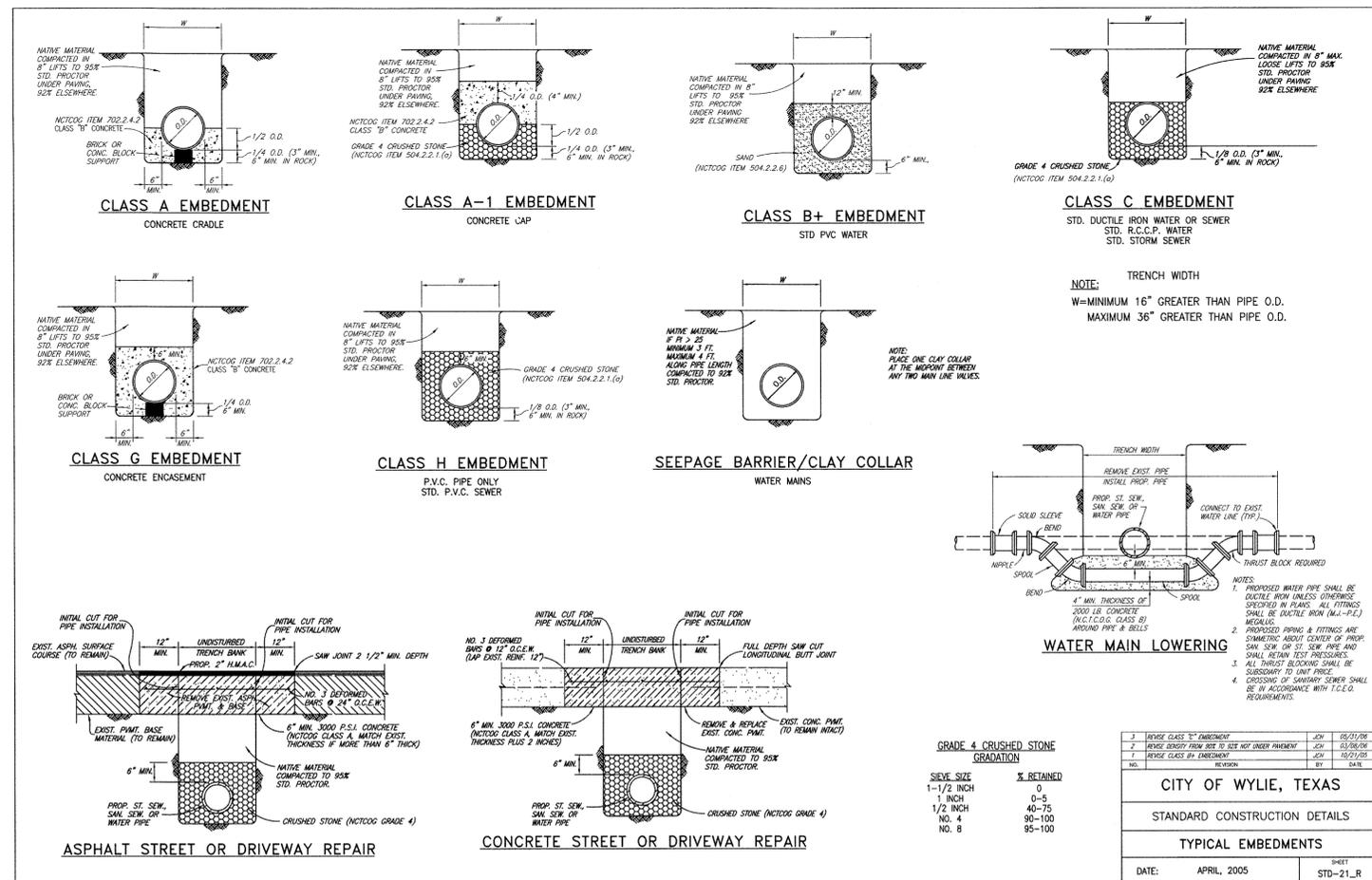
## Wylie East Drive

City of Wylie,  
 Collin County, TX

### TXDOT PEDESTRIAN RAMP DETAILS 5

Preliminary

Date: **03/14/2016**  
 Sheet: **10 OF 11**



# Westwood

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## Wylie East Drive

City of Wylie,  
Collin County, TX

**CITY OF WYLIE  
DETAILS 6**

**Preliminary**

Date: 03/14/2016  
Sheet: 11 OF 11

CITY OF WYLIE, TEXAS	
STANDARD CONSTRUCTION DETAILS	
WATER	
DATE:	APRIL, 2005
SHEET:	STD-14_R

## SECTION 1

### WYLIE EAST DRIVE COST SUMMARY LEWIS RANCH ESTATES Wylie, Texas Sta. 16+20 to Sta. 30+68.61

Description	Unit	Quantity	Price	Amount
<b>Excavation</b>				
Prep ROW	STA	15	500.00	7,250.00
Excavation ( Fill )	CY	7,840	6.20	<u>48,608.00</u>
		<b>Subtotal Excavation</b>		<b>55,858.00</b>
<b>Paving</b>				
8"-3600 psi conc. Pvmt.	SY	5,200	39.10	203,320.00
7" Lime Stabilized Subgrade	SY	6,200	2.55	15,810.00
Lime	TN	110	150.00	16,500.00
Concrete Transition	SY	550	49.75	27,362.50
Median Nose paving	SY	50	45.00	2,250.00
Sawcut & Remove Ex. Drive	LS	2	1,500.00	3,000.00
Connect to Exist Concrete Header	LF	25	5.00	125.00
Connect to Exist HMA	LF	0	20.00	0.00
Saw cut existing curb	LF	578	10.00	5,780.00
Concrete Street Header	LF	25	15.00	375.00
5' Sidewalk	SF	7,000	4.25	29,750.00
Pavement Markings	LS	1	5,000.00	5,000.00
Traffic Control	EA	0	3,500.00	0.00
Road Signs	EA	7	475.00	3,325.00
2" PVC Conduit Under Paving	LF	120	12.00	1,440.00
Barrier Free Ramp	EA	5	1,300.00	6,500.00
		<b>Subtotal Paving</b>		<b>320,537.50</b>

## SECTION 1

### WYLIE EAST DRIVE COST SUMMARY LEWIS RANCH ESTATES Wylie, Texas Sta. 16+20 to Sta. 30+68.61

Description	Unit	Quantity	Price	Amount
<b>Utilities</b>				
10 ft. Rec. Inlet	EA	2	4,200.00	8,400.00
18" RCP, Class III	LF	46	41.50	1,909.00
21" RCP, Class III	LF	106	41.50	4,399.00
7'x4' Box Culvert	LF	110	353.00	38,830.00
Box Culvert Headwall	EA	1	6,500.00	6,500.00
Misc. Storm Connections	LS	3	700.00	2,100.00
Remove Existing Hdwl	EA	1	1,350.00	1,350.00
12" Water	LF	30	40.00	1,200.00
6 " Water	LF	34	18.00	612.00
Fire Hydrant	EA	1	4,700.00	4,700.00
Conn. To Existing 12 " Water	EA	1	1,250.00	1,250.00
Conn. To Existing 6 " Water	EA	1	1,250.00	1,250.00
Adjust Valve covers	EA	9	150.00	1,350.00
Trench Safety	LF	262	0.40	<u>104.80</u>
			<b>Subtotal Utilities</b>	<b>73,954.80</b>
<b>Misc.</b>				
Erosion Control, Maintance	LS	1	6,000.00	6,000.00
Utility Relocation	LS	1	5,000.00	5,000.00
Retaining Wall	LS	1	10,000.00	10,000.00
Landscape and Irrigation	LS	1	5,000.00	5,000.00
Signal Modification at SH 78	EA	1.00	50,000.00	50,000.00
Street Lights (incl. conduit outside paving)	EA	0	2,500.00	0.00
Relocate Existing Utility Poles	LS	0.00	5,000.00	0.00
			<b>Subtotal Misc.</b>	<b>76,000.00</b>
			<b>Subtotal</b>	<b>526,350.30</b>
			Engineering and Surveying 9 %	47,371.53
			Contingency 10 %	52,635.03
			Testing	15,000.00
			Maintenance Bond	4,000.00
			-	
			<b>TOTAL COST</b>	<b>645,356.86</b>

**THOROUGHFARE IMPACT FEES**

**REVENUE**

<b>FY</b>	<b>West</b>	<b>East</b>	<b>Total</b>
2007 \$	87,883 \$	419,255 \$	507,138
2008 \$	434,169 \$	713,809 \$	1,147,978
2009 \$	217,404 \$	354,901 \$	572,306
2010 \$	176,366 \$	346,477 \$	522,844
2011 \$	480,838 \$	303,212 \$	784,050
2012 \$	998,112 \$	42,675 \$	1,040,786
2013 \$	264,356 \$	198,289 \$	462,645
2014 \$	638,779 \$	282,992 \$	921,770
2015 \$	686,951 \$	758,223 \$	1,445,174
2016 \$	63,226 \$	218,773 \$	282,000
<b>Total</b>	<b>\$ 3,984,859</b>	<b>\$ 3,419,833</b>	<b>\$ 7,686,691</b>

**EXPENSES**

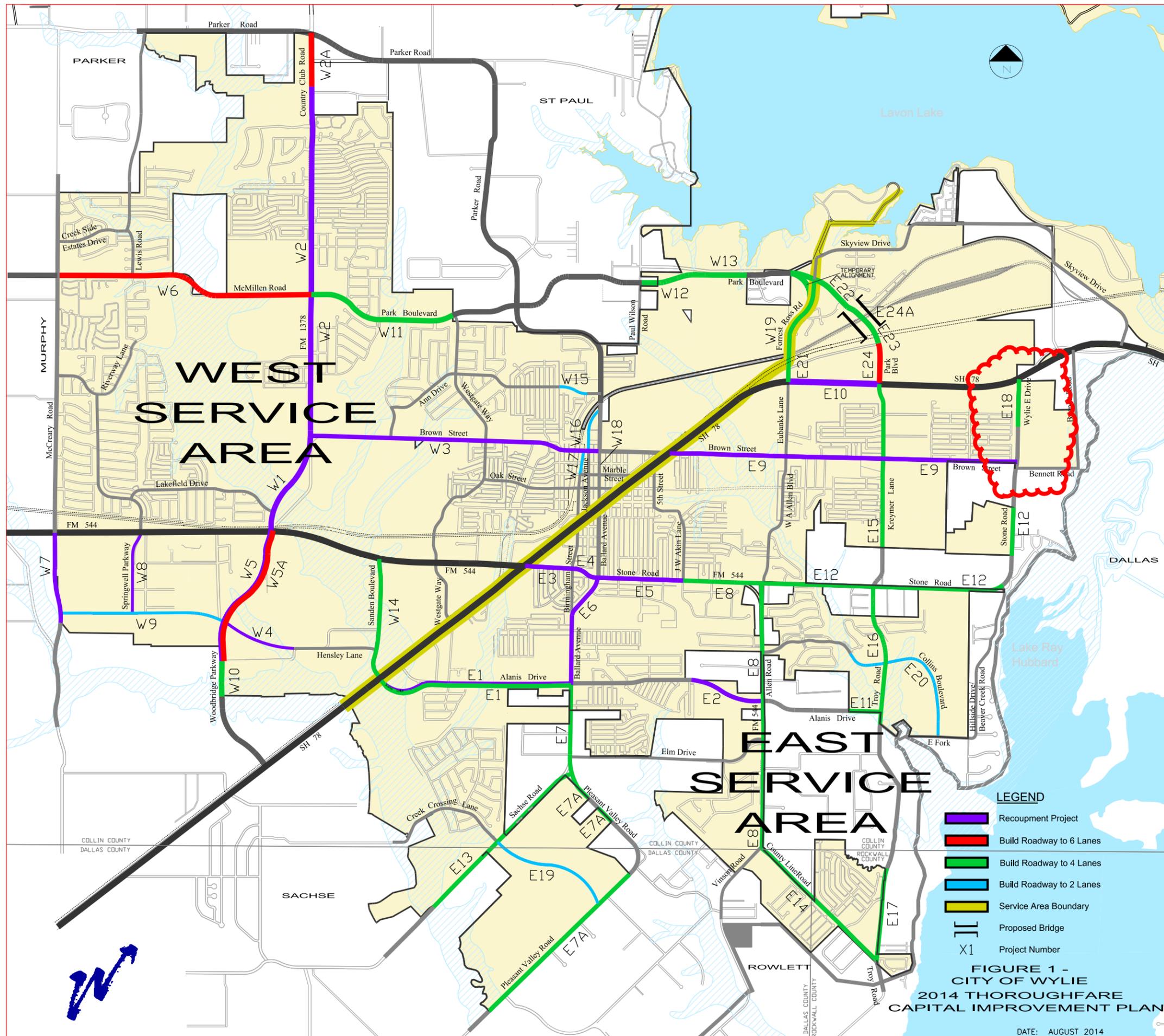
	<b>West</b>	<b>East</b>	
\$	3,033,835 \$	2,728,000 \$	5,761,835
<b>Available</b>	<b>\$ 951,024</b>	<b>\$ 691,833</b>	<b>\$ 1,924,856</b>

**Table 1A - Thoroughfare Capital Improvement Plan  
City of Wylie 2014 Impact Fee Update**

ARTERIAL	PROJECT NUMBER	BOUNDARY		EXISTING	PROJECT DESCRIPTION	LENGTH (ft)	TOTAL COST W/O INTEREST	COST OF INTEREST	TOTAL PROJECT COST
		FROM	TO						
FM 1378	W2A	N. of Lakeway	S. of N. Parker Rd.	2 lanes	Build a 6-lane divided section	1,150	\$ 3,492,000.00	\$ 1,833,300.00	\$ 5,325,300.00
Woodbridge Pkwy.	W5A	FM 544	Hooper Rd	4 lanes	Build a 6-lane divided section	5,500	\$ 2,061,000.00	\$ 1,082,025.00	\$ 3,143,025.00
McMillen Road	W6	McCreary Rd	FM 1378	4 lanes	Build a 6-lane divided section	8,400	\$ 9,454,000.00	\$ 4,963,350.00	\$ 14,417,350.00
Hensley Lane (East)	W9	Hooper Rd	McCreary Rd	---	Build a 2-lane undivided section	5,100	\$ 3,379,000.00	\$ 1,773,975.00	\$ 5,152,975.00
Woodbridge Pkwy.	W10	Hooper Rd	South City Limit	---	Build 4-lanes of future 6-lanes	1,050	\$ 875,800.00	\$ 459,795.00	\$ 1,335,595.00
Park Boulevard	W11	FM 1378	Westgate Way	2 lanes	Build 4-lanes of future 6-lanes	4,850	\$ 4,925,000.00	\$ 2,585,625.00	\$ 7,510,625.00
Park Boulevard	W12	City Limit	Skyview	---	Build 4-lanes of future 6-lanes	1,550	\$ 1,053,550.00	\$ 553,114.00	\$ 1,606,664.00
Park Boulevard	W13	Skyview	City Limit	2 lanes	Build 4-lanes of future 6-lanes	1,300	\$ 1,688,750.00	\$ 886,594.00	\$ 2,575,344.00
Sanden Boulevard	W14	FM 544	SH 78	2 lanes	Build a 4-lane divided section	3,700	\$ 2,770,500.00	\$ 1,454,513.00	\$ 4,225,013.00
Ann Drive	W15	Kamber Lane	Franklin Lane	---	Build a 2-lane undivided section	800	\$ 608,700.00	\$ 319,568.00	\$ 928,268.00
Jackson Avenue	W16	Brown Street	Parker Road	---	Build a 2-lane undivided section	850	\$ 640,100.00	\$ 336,053.00	\$ 976,153.00
Birmingham Street	W17	Marble Street	Brown Street	---	Build a 2-lane undivided section	750	\$ 580,400.00	\$ 304,710.00	\$ 885,110.00
N. Ballard Avenue	W18	SH 78	Brown Street	2 lanes	Study to Improve Capacity	1,750	\$ 50,000.00	\$ 26,250.00	\$ 76,250.00
Forrest Ross Road	W19	Railroad Tracks	Park Boulevard	2 lanes	Build a 4-lane divided section	2,650	\$ 1,675,650.00	\$ 879,716.00	\$ 2,555,366.00
<b>Sub Total</b>							<b>\$ 33,254,450.00</b>	<b>\$ 17,458,588.00</b>	<b>\$ 50,713,038.00</b>
Alanis Drive	E1	SH 78	S Ballard	3 lanes	Build a 4-lane undivided section	6,100	\$ 3,507,200.00	\$ 1,841,280.00	\$ 5,348,480.00
South Ballard Ave.	E7	Alanis Drive	County Line	2 lanes	Build a 4-lane divided section	6,200	\$ 6,667,500.00	\$ 3,500,437.50	\$ 10,167,937.50
Pleasant Valley Rd.	E7A	S. Ballard Avenue	South City Limit	2 lanes	Realign & Build 4-lane divided	7,850	\$ 8,342,300.00	\$ 4,379,707.50	\$ 12,722,007.50
FM 544	E8	JW Akin Lane	Vinson Road	2 lanes	Build a 4-lane divided section	13,500	\$ 13,960,600.00	\$ 7,329,315.00	\$ 21,289,915.00
Alanis Drive	E11	City Limit	Troy Road	---	Build a 4-lane divided section	1,200	\$ 1,396,100.00	\$ 732,952.50	\$ 2,129,052.50
Stone Road	E12	FM 544	East City Limit	2 lanes	Build a 4-lane divided section	9,400	\$ 9,524,600.00	\$ 5,000,415.00	\$ 14,525,015.00
Sachse Road	E13	County Line	South City Limit	2 lanes	Build a 4-lane divided section	2,600	\$ 4,400,000.00	\$ 2,310,000.00	\$ 6,710,000.00
County Line Road	E14	FM 544	Troy Road	2 lanes	Build a 4-lane divided section	5,000	\$ 5,002,900.00	\$ 2,626,522.50	\$ 7,629,422.50
Kreymer Lane	E15	SH 78	City Limit	2 lanes	Build a 4-lane divided section	5,050	\$ 5,046,200.00	\$ 2,649,255.00	\$ 7,695,455.00
Troy Road	E16	City Limit	East Fork	2 lanes	Realign & Build 4-lane divided	3,750	\$ 3,783,900.00	\$ 1,986,547.50	\$ 5,770,447.50
Troy Road	E17	City Limit	County Line Road	2 lanes	Build a 4-lane divided section	2,700	\$ 2,724,800.00	\$ 1,488,672.50	\$ 4,213,472.50
<b>Wylie E Drive</b>	<b>E18</b>	<b>SH 78</b>	<b>School Driveway</b>	<b>2 lanes</b>	<b>Build a 4-lane divided section</b>	<b>1,500</b>	<b>\$ 1,574,400.00</b>	<b>\$ 826,560.00</b>	<b>\$ 2,400,960.00</b>
Creek Crossing Dr.	E19	Sachse Road	City Limit	---	Build a 2-lane undivided section	2,300	\$ 1,303,000.00	\$ 688,130.00	\$ 1,991,130.00
Collins Boulevard	E20	Current End	East Fork	---	Build a 2-lane undivided section	5,300	\$ 3,449,200.00	\$ 1,810,830.00	\$ 5,260,030.00
Forrest Ross Road	E21	SH 78	Park Boulevard	2 lanes	Build a 4-lane divided section	3,600	\$ 2,686,350.00	\$ 1,410,333.75	\$ 4,096,683.75
Park Boulevard	E22	City Limit	Spring Creek Pkwy.	---	Build 4-lanes of future 6-lanes	2,700	\$ 1,835,300.00	\$ 963,533.00	\$ 2,798,833.00
Park Boulevard	E23	Spring Creek Pkwy.	Centennial	2 lanes	Build 4-lanes of future 6-lanes	850	\$ 577,800.00	\$ 303,345.00	\$ 881,145.00
Park Boulevard	E24	Centennial	SH 78	4 lanes	Build a 6-lane divided section	1,200	\$ 815,950.00	\$ 428,374.00	\$ 1,244,324.00
Park Boulevard	E24A	Bridge			Railroad Bridge	1,000	\$ 5,732,150.00	\$ 3,009,379.00	\$ 8,741,529.00
<b>Sub Total</b>							<b>\$ 82,562,950.00</b>	<b>\$ 43,345,549.75</b>	<b>\$ 125,908,499.75</b>
<b>CIP PROJECT TOTALS :</b>							<b>\$ 115,817,400.00</b>	<b>\$ 60,804,137.75</b>	<b>\$ 176,621,537.75</b>

Costs based on 50% of EOPCC by Halff Associates Paving & Drainage prorated for length out of 13,600' total

Based on 50% of Dallas County Opinion of Cost (No Breakdown)



**FIGURE 1 - CITY OF WYLIE 2014 THOROUGHFARE CAPITAL IMPROVEMENT PLAN**

DATE: AUGUST 2014



# Market Update Compensation Study

**City Council Presentation  
June 28, 2016**

**City of Wylie, Texas**

**Presented By:**

**Linda G. Wishard, SPHR, SHRM-SCP, CCP  
Project Manager, Senior Consultant**

# Overview of the Market Update Study

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- Customized compensation survey
- Market Comparisons – Data Analysis
- Develop New Pay Structures and Pay Grade Assignments
- Fiscal Impact Analysis
- Final Report Documenting Project Methodology and Findings

# Market Comparison

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## Market Survey Benchmarks

- Commonality of positions
- Competition for jobs/talent
- Location/proximity
- Services provided
- Comparable in size and operating budget to ensure strong matches
- Other criteria as determined

# Market Comparison

## Market Survey Benchmarks

### SURVEYED EMPLOYERS

√ = Responded to Survey

Peer Employers	
City of Carrollton	√
City of Frisco	√
City of Garland	√
City of Keller	√
City of Lancaster	√
City of McKinney	√
City of Plano	√
City of Richardson	√
City of Rockwall	√
City of Rowlett	√
City of Sachse	√

100% Response Rate

# Benchmark Job Titles Surveyed by Pay Plan

Executive Pay Plan	
➤ Assistant City Manager	➤ Finance Director
➤ Assistant Fire Chief	➤ Fire Chief
➤ Assistant Police Chief	➤ Human Resources Director (new)
➤ City Engineer Director	➤ Library Director
➤ City Manager	➤ Police Chief
➤ City Secretary	➤ Public Services Director
➤ Director Development Services	
Fire Pay Plan	
➤ Battalion Chief	➤ Fire Inspector/Investigator
➤ Fire Captain	➤ Fire Marshal
➤ Fire Driver	➤ Firefighter/Paramedic
General Pay Plan	
➤ 911 Communications Manager	➤ Library Clerk/Shelver
➤ Accounts Payable Specialist	➤ Maintenance Worker 2
➤ Administrative Assistant	➤ Parks and Recreation Superintendent
➤ Animal Control Officer	➤ Payroll Specialist
➤ Assistant Public Works Superintendent	➤ Plans Examiner
➤ Benefits and Recruiting Specialist	➤ Permit Technician
➤ Building Inspector	➤ Police Records Clerk
➤ Chief Building Official	➤ Recreation Manager
➤ Dispatcher	➤ Reference Assistant-Adult
➤ Electronic Services Librarian	➤ Senior Planner
➤ Fleet Maintenance Coordinator	➤ Traffic Signal Technician (new)
➤ Heavy Equipment Operator	➤ Utility Billing Clerk
➤ IT Manager	➤ Utility Billing Supervisor
➤ IT Systems Analyst	➤ Water Quality Specialist
Police Pay Plan	
➤ CID Detective	➤ Police Lieutenant
➤ Jailer (new)	➤ Police Officer
➤ Police Corporal	➤ Police Sergeant

# Geographic Adjustments – Cost of Labor

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Peer Employer	Geographic Adjustment
City of Carrollton	-0.50%
City of Frisco	-2.20%
City of Garland	-0.50%
City of Keller	4.40%
City of Lancaster	0.20%
City of McKinney	0.40%
City of Plano	-0.50%
City of Richardson	-0.60%
City of Rockwall	0.30%
City of Rowlett	0.10%
City of Sachse	-0.50%

# WORKWEEK ADJUSTMENTS

Peer Employer	General	Work Week Adj	Sworn Fire	Work Week Adj	Law Enforcement	Work Week Adj
City of Carrollton	40	0.00%	56	0.00%	48	0.00%
City of Frisco	40	0.00%	56	0.00%	48	0.00%
City of Garland	40	0.00%	56	0.00%	48	0.00%
City of Keller	40	0.00%	56	0.00%	48	0.00%
City of Lancaster	40	0.00%	56	0.00%	48	0.00%
City of McKinney	40	0.00%	56	0.00%	48	0.00%
City of Plano	40	0.00%	56	0.00%	48	0.00%
City of Richardson	40	0.00%	56	0.00%	48	0.00%
City of Rockwall	40	0.00%	53	5.66%	48	0.00%
City of Rowlett	40	0.00%	56	0.00%	48	0.00%
City of Sachse	40	0.00%	56	0.00%	48	0.00%
<b>City of Wylie</b>	<b>40</b>	<b>NA</b>	<b>56</b>	<b>NA</b>	<b>48</b>	<b>NA</b>

# Market Analysis

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## Customized Salary Survey Results

- Competitive market position
- Relationship of new structure with survey statistics
- Strategic design of new structure- width of ranges and number of grades, number of structures
- Assignment of current employees in new structure

# Market Analysis

## Competitive Position

### MARKET POSITION ACROSS ALL BENCHMARKS – PAY ONLY<sup>1</sup>

	City of Wylie Pay Ranges as a Percent of the Market Average			
	Pay Range Minimum	Pay Range Midpoint	Pay Range Maximum	Actual Salary
Private Sector	87%	88%	88%	NA
Public Sector	97%	93%	89%	91%
<b>Overall</b>	<b>97%</b>	<b>92%</b>	<b>89%</b>	<b>91%</b>

<sup>1</sup>Base pay rates have been adjusted for geographic differences in the cost-of-labor (Refer to slide #6)

# Current Police Structure

Positions	Grade	Pay Range											
		Step 0	Step 1	Step 2	Step 3	Step 4	Step 5	Step 6	Step 7	Step 8	Step 9	Step 10	Step 11
Police Criminalist Police Recruit	P1	\$46,011.31	\$47,161.59	\$48,340.63	\$49,549.15	\$50,787.88	\$52,057.57	\$53,359.01	\$54,692.99	\$56,060.31	\$57,461.82	\$58,898.37	\$60,370.83
CID Detective Police Officer	P2	\$50,732.15	\$52,000.46	\$53,300.47	\$54,632.98	\$55,998.80	\$57,398.77	\$58,833.74	\$60,304.59	\$61,812.20	\$63,357.51	\$64,941.44	
Police Corporal	P3	\$58,833.74	\$60,304.59	\$61,812.20	\$63,357.51	\$64,941.44	\$66,564.98	\$68,229.10					
Police Sergeant	P4	\$69,175.64	\$70,905.03	\$72,677.66	\$74,494.60	\$76,356.97	\$78,265.89						
Police Lieutenant	P5	\$80,049.17	\$82,050.40	\$84,101.66	\$86,204.20	\$88,359.31							

# Proposed Police Structure

Position	Grade	Step 0	Step 1	Step 2	Step 3	Step 4	Step 5	Step 6	Step 7	Step 8	Step 9	Step 10	Step 11
Police Recruit Crime Scene Technician	P1	48,313	49,521	50,759	52,028	53,329	54,662	56,029	57,429	58,865	60,337	61,845	63,391
			2.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%
Police Officer CID Detective	P2	55,560	56,949	58,373	59,832	61,328	62,861	64,433	66,044	67,695	69,387	71,122	72,900
			2.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%
Police Corporal	P3	66,896	68,568	70,282	72,039	73,840	75,686	77,578	79,518	81,506			
			2.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%			
Police Sergeant	P4	77,485	79,422	81,407	83,442	85,528	87,667						
			2.50%	2.50%	2.50%	2.50%	2.50%						
Police Lieutenant	P5	90,206	92,461	94,772	97,142	99,570	102,059						
			2.50%	2.50%	2.50%	2.50%	2.50%						

# Current Fire Structure

Positions	Grade	Pay Range										
		Step 0	Step 1	Step 2	Step 3	Step 4	Step 5	Step 6	Step 7	Step 8	Step 9	Step 10
Firefighter/Paramedic	F1	\$48,433.00	\$49,643.82	\$50,884.92	\$52,157.04	\$53,460.97	\$54,797.49	\$56,167.43	\$57,571.61	\$59,010.90	\$60,486.18	\$61,998.33
Fire Inspector Fire Driver	F2	\$50,884.92	\$52,157.04	\$53,460.97	\$54,797.49	\$56,167.43	\$57,571.61	\$59,010.90	\$60,486.18	\$61,998.33	\$63,548.29	
Fire Inspector/Investigator	F3	\$53,424.27	\$54,759.88	\$56,128.87	\$57,532.10	\$58,970.40	\$60,444.66	\$61,955.77	\$63,504.67	\$65,092.29		
Fire Lieutenant	F4	\$66,719.59	\$68,387.58	\$70,097.27	\$71,849.70	\$73,645.95	\$75,487.10					
Fire Captain	F5	\$77,061.71	\$78,988.26	\$80,962.96	\$82,987.04							
Fire Marshal	F6	\$85,061.71	\$87,188.26	\$89,367.96	\$91,602.16							
Battalion Chief	F7	\$88,989.94	\$91,214.69	\$93,495.06	\$95,832.44							

# Proposed Fire Structure

Position	Grade	Step 0	Step 1	Step 2	Step 3	Step 4	Step 5	Step 6	Step 7	Step 8	Step 9
Firefighter/Paramedic	F1	55,103	56,480	57,893	59,340	60,823	62,344	63,902	65,500	67,138	68,816
			2.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%
Fire Inspector/Investigator	F3	60,703	62,220	63,776	65,370	67,004	68,680	70,397	72,157	73,960	
			2.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%	
Fire Driver	F4	70,909	72,682	74,499	76,362	78,271					
			2.50%	2.50%	2.50%	2.50%					
Fire Captain	F5	86,299	88,456	90,668	92,934	95,258	97,639				
			2.50%	2.50%	2.50%	2.50%	2.50%				
Fire Marshal	F6	87,163	89,342	91,575	93,865	96,211	98,617	101,082	103,609		
			2.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%		
Battalion Chief	F7	92,497	94,810	97,180	99,609	102,100					
			2.50%	2.50%	2.50%	2.50%					

# GENERAL STRUCTURE CURRENT VS. PROPOSED

Current Structures			
100	\$23,364.49	\$28,037.38	\$32,710.28
101	\$25,000.00	\$30,000.00	\$35,000.00
102	\$26,750.00	\$32,100.00	\$37,450.00
103	\$28,622.50	\$34,347.00	\$40,071.50
104	\$30,626.08	\$36,751.29	\$42,876.51
105	\$32,769.90	\$39,323.88	\$45,877.86
106	\$35,063.79	\$42,076.55	\$49,089.31
107	\$37,868.90	\$45,442.68	\$53,016.46
108	\$40,898.41	\$49,078.09	\$57,257.77
109	\$44,170.28	\$53,004.34	\$61,838.39
110	\$47,703.90	\$57,244.68	\$66,785.47
111	\$51,520.22	\$61,824.26	\$72,128.30
112	\$56,672.24	\$68,006.69	\$79,341.13
113	\$63,472.91	\$76,167.49	\$88,862.07
114	\$71,089.65	\$85,307.59	\$99,525.52

Proposed Structures			
100	\$24,032.04	\$29,439.25	\$34,846.46
101	\$25,714.29	\$31,500.00	\$37,285.71
102	\$27,514.29	\$33,705.00	\$39,895.71
103	\$29,440.29	\$36,064.35	\$42,688.41
104	\$31,501.11	\$38,588.85	\$45,676.60
105	\$33,706.18	\$41,290.07	\$48,873.97
106	\$36,065.61	\$44,180.38	\$52,295.14
107	\$38,950.87	\$47,714.81	\$56,478.76
108	\$42,066.93	\$51,531.99	\$60,997.05
109	\$45,432.29	\$55,654.56	\$65,876.82
110	\$49,066.87	\$60,106.91	\$71,146.96
111	\$52,992.22	\$64,915.47	\$76,838.72
112	\$58,291.45	\$71,407.02	\$84,522.60
113	\$65,286.42	\$79,975.86	\$94,665.31
114	\$73,120.79	\$89,572.97	\$106,025.15
115	\$84,088.91	\$103,008.91	\$121,928.92
116	\$96,702.25	\$118,460.25	\$140,218.26

# Proposed General Structure

Position	Grade	Min	Mid	Max
Library Clerk/Shelver	100	\$24,032.04	\$29,439.25	\$34,846.46
Maintenance Worker 2 Police Records Clerk Reference Assistant-Adult Utility Billing Clerk	103	\$29,440.29	\$36,064.35	\$42,688.41
Administrative Assistant Permit Technician	104	\$31,501.11	\$38,588.85	\$45,676.60
Animal Control Officer Heavy Equipment Operator Jailer (new)	105	\$33,706.18	\$41,290.07	\$48,873.97
Accounts Payable Specialist Dispatcher	106	\$36,065.61	\$44,180.38	\$52,295.14
Payroll Specialist Traffic Signal Technician (new) Water Quality Specialist	107	\$38,950.87	\$47,714.81	\$56,478.76
Benefits and Recruiting Specialist Building Inspector	108	\$42,066.93	\$51,531.99	\$60,997.05

# Proposed General Structure (Continued)

Position	Grade	Min	Mid	Max
Fleet Maintenance Coordinator Plans Examiner Utility Billing Supervisor	109	\$45,432.29	\$55,654.56	\$65,876.82
Electronic Services Librarian	110	\$49,066.87	\$60,106.91	\$71,146.96
IT Systems Analyst Recreation Manager Senior Planner	112	\$58,291.45	\$71,407.02	\$84,522.60
911 Communications Manager Assistant Public Works Superintendent	113	\$65,286.42	\$79,975.86	\$94,665.31
Parks and Recreation Superintendent	114	\$73,120.79	\$89,572.97	\$106,025.15
Chief Building Official IT Manager	115	\$84,088.91	\$103,008.91	\$121,928.92

# EXECUTIVE STRUCTURE CURRENT VS. PROPOSED

Current Structures			
I	\$71,111.11	\$80,000.00	\$88,888.89
II	\$85,333.33	\$96,000.00	\$106,666.67
III	\$102,408.00	\$110,450.00	\$118,492.00
IV	\$102,400.00	\$115,200.00	\$128,000.00
V	\$122,880.00	\$138,240.00	\$153,600.00
VI	\$159,744.00	\$179,712.00	\$199,680.00

Proposed Structures			
IA	\$71,111.11	\$87,111.11	\$103,111.11
IB	\$109,259.26	\$118,000.00	\$126,740.74
IC	\$96,326.53	\$118,000.00	\$139,673.47
II	\$103,069.39	\$126,260.00	\$149,450.61
III	\$113,376.33	\$138,886.00	\$164,395.67
IV	\$130,382.78	\$159,718.90	\$189,055.02
V	\$155,155.50	\$190,065.49	\$224,975.48

# Proposed Executive Structure

Position	Grade	Min	Mid	Max
City Secretary	IA	\$71,111.11	\$87,111.11	\$103,111.11
Assistant Fire Chief	IB	\$109,259.26	\$118,000.00	\$126,740.74
Assistant Police Chief		\$109,259.26	\$118,000.00	\$126,740.74
City Engineer Director	IC	\$96,326.53	\$118,000.00	\$139,673.47
Human Resources Director (new)		\$96,326.53	\$118,000.00	\$139,673.47
Director Development Services		\$96,326.53	\$118,000.00	\$139,673.47
Library Director		\$96,326.53	\$118,000.00	\$139,673.47
Finance Director	II	\$103,069.39	\$126,260.00	\$149,450.61
Public Services Director		\$103,069.39	\$126,260.00	\$149,450.61
Fire Chief	III	\$113,376.33	\$138,886.00	\$164,395.67
Police Chief		\$113,376.33	\$138,886.00	\$164,395.67
Assistant City Manager	IV	\$130,382.78	\$159,718.90	\$189,055.02
City Manager	V	\$155,155.50	\$190,065.49	\$224,975.48

# Proposed Executive Structure

Position	Grade	Min	Mid	Max
City Secretary	IA	\$71,111.11	\$87,111.11	\$103,111.11
Assistant Fire Chief	IB	\$109,259.26	\$118,000.00	\$126,740.74
Assistant Police Chief		\$109,259.26	\$118,000.00	\$126,740.74
City Engineer Director	IC	\$96,326.53	\$118,000.00	\$139,673.47
Human Resources Director (new)		\$96,326.53	\$118,000.00	\$139,673.47
Director Development Services		\$96,326.53	\$118,000.00	\$139,673.47
Library Director		\$96,326.53	\$118,000.00	\$139,673.47
Finance Director	II	\$103,069.39	\$126,260.00	\$149,450.61
Public Services Director		\$103,069.39	\$126,260.00	\$149,450.61
Fire Chief	III	\$113,376.33	\$138,886.00	\$164,395.67
Police Chief		\$113,376.33	\$138,886.00	\$164,395.67
Assistant City Manager	IV	\$130,382.78	\$159,718.90	\$189,055.02
City Manager	V	\$155,155.50	\$190,065.49	\$224,975.48

# Fiscal Impact Analysis

	General	Part Time	Executive	Fire	PS Part Time	Police	Total
Current Base Salary	\$6,823,108.36	\$1,253,284.24	\$1,390,432.42	\$2,869,411.78	\$144,783.34	\$3,941,923.10	\$16,422,943.24
Number of Employees	152	97	11	42	8	60	370
New Range Minimum Adjustment	\$50,810.11	\$13,940.57	\$0.00				\$64,750.69
Adjustment Percent	0.7%	1.1%	0.0%				0.4%
Number of Employees Receiving Adjustments	45	48	0				93
Percent Receiving Adjustments	29.6%	49.5%	0.0%				25.1%
2.5% Time in Position Adjustment	\$152,313.17	\$46,042.72	\$91,437.26				\$289,793.15
Adjustment Percent	2.2%	3.7%	6.6%				1.8%
Number of Employees Receiving Adjustments	56	71	8				135
Percent Receiving Adjustments	36.8%	73.2%	72.7%				36.5%
Adjustment Matching Same Step in New Structure				\$304,381.18	\$4,111.10	\$186,108.34	\$494,600.62
Adjustment Percent				10.6%	2.8%	4.7%	3.0%
Number of Employees Receiving Adjustments				42	7	59	108
Percent Receiving Adjustments				100.0%	87.5%	98.3%	29.2%
<b>Total Adjustments</b>	<b>\$203,123.28</b>	<b>\$59,983.29</b>	<b>\$91,437.26</b>	<b>\$304,381.18</b>	<b>\$4,111.10</b>	<b>\$186,108.34</b>	<b>\$849,144.45</b>
<b>Total Adjustment Percent</b>	<b>3.0%</b>	<b>4.8%</b>	<b>6.6%</b>	<b>10.6%</b>	<b>2.8%</b>	<b>4.7%</b>	<b>5.2%</b>
Salary Above Maximum Value							
Current Structure	12	1	0	10	1	8	32
Proposed Structure	5	0	0	0	1	0	6

# Implementation Recommendations

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- Projected implementation cost: **\$849,144.45**
- Recommend one-time implementation of new pay structure and grade assignments effective October, 2016.
- Pay adjustments will be reflected on first full pay period of the new fiscal year beginning Oct. 10<sup>th</sup>.

## Further Questions

**Questions**