



NOTICE OF MEETING

Regular Meeting Agenda

August 11, 2015 – 6:00 pm
Wylie Municipal Complex
Council Chambers/Council Conference Room
300 Country Club Road, Building #100

- Eric Hogue Mayor
- Keith Stephens Mayor Pro Tem
- Diane Culver Place 2
- Todd Wintters Place 3
- Candy Arrington Place 4
- William Whitney III Place 5
- David Dahl Place 6
- Mindy Manson City Manager
- Richard Abernathy City Attorney
- Carole Ehrlich City Secretary

In accordance with Section 551.042 of the Texas Government Code, this agenda has been posted at the Wylie Municipal Complex, distributed to the appropriate news media, and posted on the City website: www.wylietexas.gov within the required time frame. As a courtesy, the entire Agenda Packet has also been posted on the City of Wylie website: www.wylietexas.gov.

The Mayor and City Council request that all cell phones and pagers be turned off or set to vibrate. Members of the audience are requested to step outside the Council Chambers to respond to a page or to conduct a phone conversation.

The Wylie Municipal Complex is wheelchair accessible. Sign interpretation or other special assistance for disabled attendees must be requested 48 hours in advance by contacting the City Secretary's Office at 972.516.6020.

Hearing impaired devices are available from the City Secretary prior to each meeting.

CALL TO ORDER

Announce the presence of a Quorum.

INVOCATION & PLEDGE OF ALLEGIANCE

CITIZENS COMMENTS ON NON-AGENDA ITEMS

Residents may address Council regarding an item that is not listed on the Agenda. Residents must fill out a non-agenda form prior to the meeting in order to speak. Council requests that comments be limited to three (3) minutes. In addition, Council is not allowed to converse, deliberate or take action on any matter presented during citizen participation.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the City Council and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- A. **Consider, and act upon, approval of the Minutes of July 28, 2015 Regular Meeting of the Wylie City Council.** *(C. Ehrlich, City Secretary)*
- B. **Consider, and act upon, Resolution No. 2015-15(R) authorizing the City Manager to execute an updated Multijurisdictional Pretreatment Agreement with the North Texas Municipal Water District.** *(M. Sferra, Community Services Director)*
- C. **Consider, and act upon, Ordinance No. 2015-25, amending Planned Development (2015-03 & 2005-24) Braddock Place Phase IV to allow three car-garages with front entry on lots 12,000 sf or less with the following conditions: a maximum of one third of the lots may have a three (3) car-garage; with the third garage having a four (4) foot offset. A maximum of one third of the lots may have a two and one half (2.5) car-garage; with the remaining one third to have a two car garage. Designs with a three car garage shall have a maximum of two doors which shall be cedar with carriage hardware.** **ZC 2015-06** *(R. Ollie, Development Services Director)*
- D. **Consider, and act upon, Ordinance No. 2015-26, amending the zoning from Single Family Residential (SF 10/24) District to Neighborhood Service (NS), to allow an engineering firm to operate business. Property generally located at 634 North Ballard.** **ZC 2015-05** *(R. Ollie, Development Services Director)*
- E. **Consider, and act upon an approval of a Final Plat for Bozman Farm Estates Phase 5, establishing 193 single family residential lots and two open space lots on 69.071 acres, generally located at Collins Boulevard and Troy Road.** *(R. Ollie, Development Services Director)*
- F. **Consider, and act upon an approval of a Preliminary Plat for Platinum Storage Country Club Subdivision (PD 2015-07), creating two commercial lots on 11.0216 acres, generally located on the east side of Country Club and approximately 600' north of Brown Street.** *(R. Ollie, Development Services Director)*
- G. **Consider and act upon the award of bid # W2015-42-B for the Animal Shelter Facility Interior Remodel Project; to The Gilbert Construction Group, Inc. in the amount of \$45,820.00 and authorizing the City Manager to execute any and all necessary documents.** *(G. Hayes, Purchasing)*
- H. **Consider and act upon, Resolution 2015-16(R) authorizing the City Manager to execute an easement for right-of-way for a water transmission pipeline for the North Texas Municipal Water District** *(C. Holsted, City Engineer)*
- I. **Consider, and act upon, proposals for employee group health insurance, including major medical, dental, term life, accidental death/dismemberment, long term disability and prescription drug coverage.** *(L. Fagerstrom, Human Resources Manager)*

REGULAR AGENDA

- 1. **Hold a Public Hearing and consider, and act upon a change in zoning from Agricultural-30 (AG/30) to Planned Development-Single-Family (PD-SF), to allow for residential uses of varied densities on approximately 45 acres, generally located west of E. Stone Road and approximately 2,100 feet south of Brown Street..** **ZC 2015-08** *(R. Ollie, Development Services Director)*

Executive Summary

The applicant is requesting to establish permanent zoning on approximately 45 acres of land annexed into the city in April 2014. The subject property shall be developed in accordance with attached planned development conditions to accommodate a single family residential community of varied densities.

2. **Hold a Public Hearing and consider, and act upon a change in zoning from Agricultural (A/30) to Planned Development-Single-Family (PD-SF), for single-family residential development on approximately 21 acres, located on the north side of Alanis Drive approximately 1400' west of S. Ballard Ave. ZC 2015-07 ZC 2015-07 (R. Ollie, Development Services Director)**

Executive Summary

The applicant is requesting to establish permanent zoning on approximately 21 acres of land, as Phase II of a Planned Development which was approved in January of 2015. Phase I contains a historical house known as "The Stone House" and the overall theme of that development will continue in Phase II.

3. **Hold a Public Hearing and consider, and act upon a change in zoning from Commercial Corridor (CC) to Planned Development – Light Industrial District (PD-LI) to allow Light industrial uses; on approximately 2 acres generally located west of Commerce Street and south of Business Way (710 Business Way). ZC 2015-09 (R. Ollie, Development Services Director)**

Executive Summary

The applicant was initially requesting to amend the zoning on approximately 2 acres of commercially zoned land to allow limited light industrial uses and to establish guidelines for such development.

4. **Consider, and act upon, Resolution No. 2015-17(R) of the City Council of the City of Wylie, Texas, accepting the proposed property tax rate for fiscal year 2015-2016, accepting the calculation of the effective tax rate, establishing dates for public hearings on the proposed property tax rate, and providing for the publication as provided by the Texas Local Government Code, Section 140.010. (L. Bantz, Finance Director)**

Executive Summary

The City is required by law to follow certain meeting and notice (publication) guidelines identified in the "Truth in Taxation" guide. In accordance with the "Truth in Taxation" laws of the State of Texas, the effective and rollback tax rates and other information must be published and two public hearings must be held if an entity's proposed tax rate exceeds the lower of either the effective tax rate or the rollback tax rate. This year's effective tax rate is \$0.860898 and the rollback tax rate is \$0.889895.

5. **Consider and act upon Resolution No. 2015-18 (R) authorizing and approving a certain Certificate of Corporate Resolution 2015-01 (R) adopted by the Board of Directors of the Wylie Economic Development Corporation authorizing one or more loans in the aggregate amount of \$387,317.13 from The American National Bank of Texas and pledging the ½ cent sales tax for economic development as collateral to secure the repayment of said loan(s). (S. Satterwhite, WEDC Director)**

Executive Summary

The WEDC Board of Directors approved the attached Resolution on July 31, 2015 which authorizes the borrowing of \$387,317.13 from The American National Bank of Texas and the pledging of the WEDC ½ cent sales tax for economic development as collateral for the repayment of the same. \$185,000 of the total loan amount will be utilized to purchase a property from Cora Jones upon which K&M Automotive is currently doing business. The balance of \$202,317.13 will be used to refinance an existing note held by an individual from whom the EDC purchased a property on Commerce Street in Wylie with the new rate being 1% lower than the existing rate.

READING OF ORDINANCES

Title and caption approved by Council as required by Wylie City Charter, Article III, Section 13-D.

ADJOURNMENT

If during the course of the meeting covered by this notice, the City Council should determine that a closed or executive meeting or session of the City Council or a consultation with the attorney for the City should be held or is required, then such closed or executive meeting or session or consultation with attorney as authorized by the Texas Open Meetings Act, Texas Government Code § 551.001 et. seq., will be held by the City Council at the date, hour and place given in this notice as the City Council may conveniently meet in such closed or executive meeting or session or consult with the attorney for the City concerning any and all subjects and for any and all purposes permitted by the Act, including, but not limited to, the following sanctions and purposes:

CERTIFICATION

I certify that this Notice of Meeting was posted on August 7, 2015 at 5:00 p.m. as required by law in accordance with Section 551.042 of the Texas Government Code and that the appropriate news media was contacted. As a courtesy, this agenda is also posted on the City of Wylie website: www.wylietexas.gov.

Carole Ehrlich, City Secretary

Date Notice Removed



Wylie City Council

Minutes

Wylie City Council Meeting

Tuesday, July 28, 2015 – 6:00 p.m.

Wylie Municipal Complex – Council Chambers

300 Country Club Road, Bldg. 100

Wylie, TX 75098

CALL TO ORDER

Announce the presence of a Quorum.

Mayor Eric Hogue called the meeting to order at 6:02 p.m. with the following City Council members present: Mayor Eric Hogue, Mayor pro tem Keith Stephens, Councilman David Dahl, Councilman Todd Wintters, Councilwoman Diane Culver, and Councilman William Whitney III. Councilwoman Candy Arrington was absent.

Staff present were: City Manager, Mindy Manson; Assistant City Manager, Jeff Butters; Public Services Director, Mike Sferra; Fire Chief, Brent Parker; Development Services Director, Renae Ollie; Finance Director, Linda Bantz; City Secretary, Carole Ehrlich; Human Resources Manager, Lynn Fagerstrom; and various support staff.

INVOCATION & PLEDGE OF ALLEGIANCE

Fire Chief Brent Parker gave the invocation. Sergeant Joddy Warren led the Pledge of Allegiance.

PRESENTATIONS

- **Promotion Badge Pinning for Police Dept. Tommy Walters to Lt. and Joddy Warren to Sgt.** (*J. Butters, Asst. City Manager*)

Mayor Hogue and Acting Police Chief and Assistant City Manager, Jeff Butters, congratulated Sergeant Joddy Warren and Lieutenant Tommy Walters on their respective promotions within the Wylie Police Department. Both officers were present with their families.

CITIZENS COMMENTS ON NON-AGENDA ITEMS

Residents may address Council regarding an item that is not listed on the Agenda. Residents must fill out a non-agenda form prior to the meeting in order to speak. Council requests that comments be limited to three (3) minutes. In addition, Council is not allowed to converse, deliberate or take action on any matter presented during citizen participation.

No citizens were present to address Council during Citizens Comments.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the City Council and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- A. Consider, and act upon, approval of the Minutes of July 14, 2015 Regular Meeting and July 16, 2015 and July 21, 2015 Special Called Meetings of the Wylie City Council. (C. Ehrlich, City Secretary)**
- B. Consider, and act upon, a recommendation to the City Council regarding a Preliminary Plat for the Alanis Crossing Phase 2 Subdivision, creating 42 single-family residential lots on 26.239 acres, generally located on the northwest corner of FM 544 and Alanis Drive. (R. Ollie, Development Services Director)**
- C. Consider, and act upon, granting an extension of time for the FY 2015-2016 proposed budget filing with the City Secretary from August 5, 2015 to August 7, 2015 per the Home Rule Charter; Article V, Section 2. (L. Bantz, Finance Director)**
- D. Consider, and place on file, the City of Wylie Monthly Investment Report for June 30, 2015. (L. Bantz, Finance Director)**
- E. Consider, and place on file, the City of Wylie Monthly Revenue and Expenditure Report for June 30, 2015. (L. Bantz, Finance Director)**
- F. Consider, and act upon, the Monthly Revenue and Expense Report for the Wylie Economic Development Corporation as of June 30, 2015 (S. Satterwhite, WEDC Director)**
- G. Consider, and act upon, vendor application for the Wylie ISD Council of PTA's "Back to the Future Back to School" event at Olde City Park on August 29, 2015. (R. Diaz, Parks and Recreation Superintendent)**
- H. Consider, and act upon, the award of Bid #W2015-54-B for the purchase of a Cummins DSGAA Diesel Generator Set 100kW and Transfer Switch in the amount of \$46,808.00 to Prater Electric LLC, dba Jeffries Electric, and authorizing the City Manager to execute any necessary documents. (G. Hayes, Purchasing)**

Council Action

A motion was made by Councilman Wintters, seconded by Councilman Dahl to approve the Consent Agenda as presented. A vote was taken and the motion passed 6-0 with Councilwoman Arrington absent.

REGULAR AGENDA

- 1. Hold a Public Hearing and consider, and act upon, amending Planned Development (2015-03 & 2005-24) Braddock Place Phase IV to allow three car-garage with front entry. ZC 2015-06**
(R. Ollie, Development Services Director)

Staff Comments

Development Services Director Ollie addressed Council stating that the subject tract was part of a Planned Development adopted July 26, 2005 in order to develop a master planned residential community. The Final Plat for Phase IV was approved in 2013 and created 77 single-family residential lots.

Ollie explained the intent of the amendment is to modify the regulations of the number of garage doors that can face a public street. The current PD Conditions allow for no more than a two car garage door to face the street on lots less than 12,000 s.f., and must be an architectural upgraded door and contain decorative door hardware. The request is to allow three (3) car garages to face the street on lots smaller than 12,000 square feet.

Ollie reported the Planning and Zoning Commission voted 4-0 to recommend approval with specified language. Garage doors can be located on the primary street elevation of single family residential unit with an upgraded insulated door with carriage hardware. The primary street would be the addressed street front. Garages may face street on a corner lot side yard. Each garage will be a minimum of two (2) cars with a maximum of three (3) car garage on lots less than 12,000 square feet or less

Applicant/Council Discussion

Ryan Joyce representing Skorburg addressed Council stating that builders have requested that the options of a three car garage be added to the PD. The amendment will allow more architectural variety within this phase of Braddock. Aesthetically, with a side swing garage on a lot with smaller front footage, there is limited space in the front for driveway and house. The impervious coverage of the front yard increases significantly while trying to incorporate a front swing drive. A front facing garage allows for more open space.

Mayor Hogue stated that he was not in favor of three single garage doors facing the street. Hogue noted in his opinion, a two car garage door, with a setback for the third single door was more appealing. He also noted cedar doors were more attractive in addition to the upgraded carriage hardware. Mr. Joyce stated he had no problem with adding the cedar doors to the PD.

Councilwoman Culver suggested limiting the three car garages to not more than 25% of the 12,000 square foot lots. She noted she concurred with Councilman Dahl and Mayor Hogue regarding only a total of two garage doors on the three car garage designs. Mayor Hogue asked about providing a percentage with a 2 ½ car garage as an additional option. He explained that in this design there would be no more doors as the garage is just extended to provide additional space.

Council Action

A motion was made by Councilman Dahl, seconded by Councilwoman Culver to amend a Planned Development (2015-03 & 2005-24) Braddock Place Phase IV to allow three car-garages with front entry with the following conditions: a maximum of one third of the 12,000 sq. ft. lots may have a three (3) car-garage; with the third garage having a four (4) foot setback. A maximum of one third of the 12,000 sq. ft. lots may have a two and one half (2.5) car-garage; with the remaining one third to have a two car garage. Designs with a three car garage shall

have a maximum of two doors which shall be cedar with carriage hardware. A vote was taken and the motion passed 6-0 with Councilwoman Arrington absent.

- 2. Hold a Public Hearing and consider, and act upon, a change in zoning from Single Family Residential (SF 10/24) District to Neighborhood Service (NS), to allow an engineering firm. Property generally located at 634 North Ballard. ZC 2015-05 (R. Ollie, Development Services Director)**

Staff Comments

Development Services Director Ollie addressed Council stating that the applicant and owner are requesting to rezone the property to allow for an Engineering firm to occupy a residential structure currently zoned for single family uses. The structure is a two story brick exterior, and is approximately 5,400 square feet. The Land Use Plan classifies the subject property as General Urban Sector and supports Neighborhood Service Uses.

Ollie reported the property is bordered on all sides by single family residential dwellings. Access to the property is via Ballard Avenue. Currently, TxDOT is working towards advertising for bids in 2018 for Ballard Avenue to become a four lane divided secondary thoroughfare.

Notification/Responses: 30 notifications were mailed to property owners within 200 feet of the proposal. Twelve (12) comment forms were received, all in opposition, and an additional seven (7) responses were received from beyond the required 200 foot notification area.

Ollie noted the Commissioners heard from several residents within the surrounding area expressing their concerns regarding drainage and drainage issues, long term uses, increased traffic, and type of uses allowed under the NS base zoning. The primary concern was regarding other uses that would be allowed should the Engineering firm go out of business or decide to relocate. Ollie reported the Planning and Zoning Commission voted 4-0 to recommend.

Ollie reviewed with Council an extensive list of typical uses allowed under NS zoning by current ordinance which included, but are not limited to: convenience stores, pharmacies, and general office uses. Uses that are allowed only by SUP included but are not limited to Motor Fueling Station, Vehicle Sales & Display.

Applicant/Council Comments

Applicant Steve Purcell and owner of TDC2 LLC addressed Council stating that the firm had been in business for the past 15 years at the same location in Plano. Purcell explained that the reason for the move to Wylie was that the current location could not accommodate their growing business. Several of TDC2 staff members lived in Wylie, lessening commute time for staff. Purcell stated that they had looked at many properties over the past two years, but this property best fit their business. Purcell stated that the company planned to be at this location for a very long time.

Mayor Hogue asked Mr. Purcell about the possibility of re-applying under the conditions of a Planned Development (PD) zoning, which could limit certain uses. Mr. Purcell stated that because the notices provided to the public were for base zoning, the firm would have to withdraw the current request and resubmit as a PD. Mr. Purcell stated that when applying for zoning he was not aware of the option for a PD and with the closing of the property scheduled tomorrow, that option was not obtainable.

Public Hearing

Mayor Hogue opened the public hearing for Zoning Case 2015-05 at 7:40 p.m. asking anyone present wishing to address Council to come forward.

Several residents in the zoning area addressed Council opposing the zoning request. Several speakers spoke in favor of the zoning request.

Mayor Hogue closed the public hearing at 7:55 p.m.

Councilwoman Culver stated that she had changed her opinion regarding the straight zoning (ND base zoning) because of the list of businesses requiring a Special Use Permit which would need Council approval. She noted that Ballard Avenue plans for a four lane highway fits this type of low impact service. This business extends the uses in the Historic Downtown area further down Ballard Avenue.

Mayor Hogue addressed Mr. Purcell stating that although he would prefer the Planned Development zoning, he felt this type of business would be the least intrusive to the neighborhood.

Council Action

A motion was made by Councilman Wintters, seconded by Councilwoman Culver to approve a change in zoning from Single Family Residential (SF 10/24) District to Neighborhood Service (NS), to allow an engineering firm. Property generally located at 634 North Ballard. (ZC 2015-05) A vote was taken and the motion passed 6-0 with Councilwoman Arrington absent.

Mayor Hogue convened into Work Session at 7:59 p.m.

WORK SESSION

- **Budget Work Session with City Council**

City Manager Manson reviewed funding for Parks and Recreation 4B revenues and expenditures; the Utility Fund and some additional funding for the General Fund. She noted that the certified appraisals from all three counties were received showing an additional increase in values from the preliminary estimates. Manson reviewed a few additional expenditures from the General Fund and new/replacement equipment from the Fund Balance. The recommendations also included a one cent tax rate cut.

Council reviewed the numbers and directed Manson to move forward with the budget process, which will be filed with the City Secretary's Office and is scheduled to come back to Council during the next few meetings.

Mayor Hogue reconvened into Regular Session at 8:44 p.m.

RECONVENE INTO REGULAR SESSION

ADJOURNMENT

A motion was made by Mayor pro tem Stephens, seconded by Councilman Winters to adjourn the meeting at 8:46 p.m. A vote was taken and the motion passed 6-0 with Councilwoman Arrington absent.

Eric Hogue, Mayor

ATTEST:

Carole Ehrlich, City Secretary



Wylie City Council

AGENDA REPORT

Meeting Date: August 11, 2015
Department: Public Services
Prepared By: Mike Sferra
Date Prepared: April 20, 2015

Item Number: B
(City Secretary's Use Only)
Account Code: _____
Budgeted Amount: _____

Exhibits: Resolution 2015-15(R)
Pretreatment Agreement

Subject

Consider, and act upon, Resolution No. 2015-15(R) authorizing the City Manager to execute an updated Multijurisdictional Pretreatment Agreement with the North Texas Municipal Water District.

Recommendation

Consider, and act upon, Resolution No. 2015-15(R) authorizing the City Manager to execute an updated Multijurisdictional Pretreatment Agreement with the North Texas Municipal Water District.

Discussion

In 1972, the U. S. Congress passed the Clean Water Act to restore and maintain the integrity of the nation's waters. Related and subsequent legislation specifically addressing General Pretreatment Regulations was passed in 1978. Pretreatment Regulations apply to Industrial Users of wastewater systems. These rules control various pollutants (metals and organics) often used by industries which can eventually enter the wastewater collection system and cause upset at the treatment plant if received in abnormally high volumes or concentrations.

In November 1990, the City of Wylie entered into the current Multijurisdictional Pretreatment Agreement with North Texas Municipal Water District (NTMWD). NTMWD has Multijurisdictional Pretreatment Agreements with all cities they serve that have industrial users. Wylie's Agreement with NTMWD contains a stipulation that authorizes NTMWD to administer the pretreatment provisions of the City's Industrial Waste Ordinance as found in Chapter 114, Article V., Division 3 of the Code of Ordinances.

Over the years, the City and NTMWD have coordinated with each other and have successfully implemented the Pretreatment Program. Typically, NTMWD personnel perform routine on-site inspections of local industrial facilities, collect samples, and review and verify that required reporting parameters are being met. Any deficiencies in adherence to program criteria are documented by NTMWD, and notices to industries are delivered by City of Wylie personnel.

During a recent visit by the Texas Commission on Environmental Quality (TCEQ), the TCEQ required the District to update its Pretreatment Agreements with cities that rely on the District for wastewater treatment. The City of Wylie and Murphy are currently being required to update their agreements due to the TCEQ audit of the

Muddy Creek Regional Wastewater Treatment Plant Pretreatment Program. The remainder of cities served by NTMWD will have their agreements updated later this year.

The proposed Agreement accomplishes the necessary revisions, reiterates and clarifies the duties and responsibilities of the City and NTMWD, and continues to retain NTMWD as the authorized agent to administer the pretreatment provisions of the City's Industrial Waste Ordinance.

The regulated industries in Wylie are: AlumaGraphics, Ascend Custom Extrusions, Extruders, Global Innovation, Holland USA and Sanden.

RESOLUTION NO. 2015-15(R)

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS, HEREBY AUTHORIZING THE CITY MANAGER OF THE CITY OF WYLIE, TEXAS, TO EXECUTE A MULTIJURISDICTIONAL PRETREATMENT AGREEMENT BY AND BETWEEN THE CITY OF WYLIE AND THE NORTH TEXAS MUNICIPAL WATER DISTRICT FOR WASTEWATER SERVICE TO THE CITY.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS:

SECTION 1: The City Manager of the City of WYLIE, Texas, is hereby authorized to execute, on behalf of the City Council of the City of WYLIE, Texas, a Multijurisdictional Pretreatment Agreement by and between the City of Wylie, Texas and the North Texas Municipal Water District.

SECTION 2: This Resolution shall take effect immediately upon its passage.

RESOLVED THIS THE 11th day of August, 2015.

ERIC HOGUE, Mayor

ATTEST TO:

CAROLE EHRLICH, City Secretary

EXHIBIT “A”

Multijurisdictional Pretreatment Agreement

MULTIJURISDICTIONAL PRETREATMENT AGREEMENT

STATE OF TEXAS	§	CITY OF WYLIE
	§	
	§	
	§	
COUNTY OF COLLIN	§	NORTH TEXAS MUNICIPAL WATER DISTRICT

WHEREAS, the City of Wylie, Texas (“City”) and the North Texas Municipal Water District (“NTMWD”) entered into the Multijurisdictional Pretreatment Agreement dated as of December 20, 1990 (“1990 Contract”), pursuant to which NTMWD has provided wastewater treatment services to the City through the Muddy Creek Regional Wastewater Treatment Plant (“WWTP”) and the Wylie WWTP; and

WHEREAS, the U.S. Environmental Protection Agency (“EPA”) has promulgated regulations, codified at 40 C.F.R. pt. 403, which establish mechanisms and procedures for enforcing National Pretreatment Standards controlling the introduction of wastes from non-domestic (*i.e.*, industrial) sources into Publicly Owned Treatment Works (“POTWs”); and

WHEREAS, the Texas Commission on Environmental Quality (“TCEQ”) has promulgated regulations entitled “Pretreatment Regulations for Existing and New Sources of Pollution,” codified at 30 TEX. ADMIN. CODE ch. 315, which incorporate by reference 40 C.F.R. pt. 403; and

WHEREAS, NTMWD owns and operates the Muddy Creek Regional WWTP and the City owns, and the NTMWD operates, the Wylie WWTP which provide wastewater treatment services to the City; and

WHEREAS, applicable EPA and TCEQ regulations and Texas Pollutant Discharge Elimination System (“TPDES”) Permit Nos. WQ0014216001 and WQ0010384001 require that a Pretreatment Program be developed for the Muddy Creek Regional WWTP and the Wylie WWTP and be updated as needed; and

WHEREAS, NTMWD, as the owner and operator of the Muddy Creek WWTP and operator of the Wylie WWTP, and the City, as the owner and operator of a wastewater collection system and owner of the Wylie WWTP, both choose to enter into an agreement to define the duties and responsibilities of each entity in the conduct of the required Pretreatment Program; and

WHEREAS, this Agreement (“Agreement”) restates the essential provisions of the 1990 Contract and is structured as similarly thereto as practicable, but with additions and changes required to meet current practices and regulations; and

WHEREAS, NTMWD and the City desire to terminate the 1990 Contract and supersede it with this Agreement to reflect current practices and regulations.

NOW, THEREFORE, in consideration of the mutual covenants and promises contained herein, the City and NTMWD agree as follows:

SECTION I. For purposes of this Agreement, the following definitions apply:

- a. Industrial User or User (“IU”) – Any source of indirect discharge.
- b. Significant Industrial User (“SIU”) –
 - (1) Except as provided in part (2) the term shall mean:
 - (a) An Industrial User subject to Categorical Pretreatment Standards; or
 - (b) Any other Industrial User that:
 - (i) discharges an average of 25,000 gallons per day (gpd) or more of process wastewater to the POTW (excluding sanitary, non-contact cooling and boiler blowdown wastewater);
 - (ii) contributes a process wastestream which makes up five (5) percent or more of the average dry weather hydraulic or organic capacity of the POTW treatment plant; or
 - (iii) is designated as such by the Environmental Officer on the basis that the Industrial User has a reasonable potential for adversely affecting the POTW’s operation or for violating any Pretreatment Standard or Requirement (in accordance with 40 C.F.R. § 403.8(f)(6)).
 - (2) Upon finding that an Industrial User meeting the criteria in part (1)(b) has no reasonable potential for adversely affecting the POTW’s operation or for violating any Pretreatment Standard or Requirements, the Environmental Officer may at any time, on his/her own initiative or in response to a petition received from an Industrial User, and in accordance with 40 C.F.R. § 403.8(f)(6), determine that such Industrial User is not a Significant Industrial User.
- c. Act – The Federal Water Pollution Control Act, Public Law No. 92-500, also known as the Clean Water Act (“CWA”), as amended, 33 U.S.C. § 1251 *et seq.*
- d. Pretreatment Program – A program administered by a POTW that meets the criteria established in 40 C.F.R. §§ 403.8 and 403.9, and which has been approved by the Approval Authority (TCEQ) in accordance with 40 C.F.R. § 403.11.

- e. Indirect Discharge or Discharge – The introduction of pollutants into the POTW from any non-domestic source regulated under section 307(b), (c), or (d) of the Act (33 U.S.C. § 1317).
- f. Interference – A discharge which, either alone or in conjunction with a discharge or discharges from other sources, both:
 - (1) inhibits or disrupts the POTW, its treatment processes or operations, or its sludge processes, use or disposal; and
 - (2) is the cause of a violation of any requirement of TPDES Permit Nos. WQ0014216001 and WQ0010384001 (including an increase in the magnitude or duration of a violation) or of the prevention of sewage sludge use or disposal by the POTW in compliance with the following statutory provisions and regulations or permits issued thereunder (or more stringent State or Local regulations): Section 405 of the Act (33 U.S.C. § 1345); the Solid Waste Disposal Act (“SWDA”) (including Title II, more commonly referred to as the Resource Conservation and Recovery Act (“RCRA”), and including State requirements contained in any State sludge management plan prepared pursuant to Subtitle D of the SWDA); the Clean Air Act; the Toxic Substances Control Act; and the Marine Protection, Research, and Sanctuaries Act.
- g. National Pretreatment Standard, Pretreatment Standard, or Standard – Any regulation containing pollutant discharge limits promulgated by EPA in accordance with Section 307(b) and (c) of the Act, which applies to Industrial Users. This term includes prohibitive discharge limits established pursuant to 40 C.F.R. § 403.5.
- h. New Source –
 - (1) Any building, structure, facility, or installation from which there is or may be a discharge of pollutants, the construction of which commenced after the publication of proposed Pretreatment Standards under Section 307(c) of the Act (33 U.S.C. § 1317), which will be applicable to such source if such Standards are thereafter promulgated in accordance with that Section, provided that:
 - (a) The building, structure, facility, or installation is constructed at a site at which no other sources is located; or
 - (b) The building, structure, facility, or installation totally replaces the process or production equipment that causes the discharge of pollutants at an existing source; or

- (c) The production or wastewater generating processes of the building, structure, facility, or installation are substantially independent of an existing source at the same site. In determining whether these are substantially independent factors, such as the extent to which the new facility is integrated with the existing plant, and the extent to which the new facility is engaged in the same general type of activity as the existing source, will be considered.
 - (2) Construction on a site at which an existing source is located results in a modification rather than a New Source if the construction does not create a new building, structure, facility or installation meeting the criteria of (b) or (c), above, but otherwise alters, replaces, or adds to the existing process or production equipment.
 - (3) Construction of a New Source as defined has commenced if the owner or operator has:
 - (a) Begun, or caused to begin, as part of a continuous on-site construction program:
 - (i) Any placement, assembly, or installation of facilities or equipment; or
 - (ii) Significant site preparation work including clearing, excavation, or removal of existing buildings, structures, or facilities which is necessary for the placement, assembly, or installation of New Source facilities or equipment.
 - (b) Entered into a binding contractual obligation for the purchase of facilities or equipment which is intended to be used in its operation within a reasonable time. Options to purchase or contracts which can be terminated or modified without substantial loss, and contracts for feasibility, engineering, and design studies do not constitute a contractual obligation under this definition.
- i. Pass Through – A discharge which exits the POTW into waters of the United States in quantities or concentrations which, alone or in conjunction with a discharge or discharges from other sources, is a cause of a violation of any requirement of TPDES Permit Nos. WQ0014216001 or WQ0010384001 (including an increase in the magnitude or duration of a violation).
- j. Publicly Owned Treatment Works or POTW – A treatment works as defined by Section 212 of the Act (33 U.S.C. § 1292), which is owned by the City or other governmental entity. This definition includes any devices and systems used in the storage, treatment, recycling and reclamation of municipal sewage or industrial wastes of a liquid nature. It also includes lift stations, sewers, pipes and other

conveyances only if they convey wastewater to a POTW. POTW shall also include sewers that convey wastewaters to the POTW from persons outside the City who are, by contract or agreement with NTMWD, users of NTMWD's POTW.

- k. Treatment Plant or Wastewater Treatment Plant or WWTP – That portion, or those portions, of the POTW which is designed to provide treatment of domestic sewage and industrial waste.
- l. Pretreatment or Treatment – The reduction of the amount of pollutants, the elimination of pollutants, or the alteration of the nature of pollutant properties in wastewater to a less harmful state prior to or in lieu of discharging or otherwise introducing such pollutants into the POTW. The reduction or alteration can be obtained by physical, chemical or biological processes, or process changes, or by other means, except by diluting the concentration of pollutants unless allowed by an applicable pretreatment standard (as prohibited by 40 C.F.R. § 403.6(d)).
- m. Pretreatment Requirements – Any substantive or procedural requirement related to pretreatment imposed on an Industrial User, other than a pretreatment standard.
- n. Environmental Officer – The Director of Public Works of the City or his/her duly authorized representative, which may be any entity with which the City has contracted for operation of the POTW or a treatment plant and/or with which the City has entered into a multijurisdictional, or interjurisdictional, agreement providing for wastewater service and/or a pretreatment program, or a particular officer or employee thereof.

SECTION II. The effects of certain types of industrial waste upon wastewater, wastewater treatment processes, and wastewater treatment facilities require that careful consideration be made of each industrial connection. This is a matter of concern both to NTMWD and to the City. The City covenants that it has adopted and will continue to enforce an Industrial Waste Ordinance in a manner acceptable to Federal and State agencies or departments having lawful jurisdiction to set standards for waste discharges. Through such Industrial Waste Ordinance, the City will carry out a Pretreatment Program in compliance with applicable Federal and State laws and regulations. Such Program shall include the following activities:

- a. The City shall require SIUs to comply with applicable Federal Categorical Pretreatment Standards, local limits, and the City's Industrial Waste Ordinance, as well as any applicable state and local standards.
- b. The City shall maintain certain information contained in permit applications as confidential at an SIU's request insofar as said request may be permitted under the provisions of the Texas Public Information Act or other law.
- c. The City shall disallow dilution as a means of reducing pollutant concentrations in an SIU's waste stream.

- d. Authorized representatives of the City and/or NTMWD shall be authorized to enter IU premises at any reasonable time for independent monitoring, sampling, inspection, or review of applicable records, or to conduct metering operations to determine compliance, in accordance with Federal, State and/or Local Law. Visits/inspections may be conducted jointly by the City and NTMWD, when feasible. As identified in the City's Industrial Waste Ordinance, authorized representatives of the City, EPA, TCEQ, the Texas Department of Health, or any successor agencies, bearing proper credentials and identification, shall be permitted to enter the premises of any Industrial User at any reasonable time for the purpose of independent monitoring, sampling, inspection, review of applicable records, or to conduct metering operations to determine compliance.
- e. The City shall require adherence to SIU compliance schedules, where necessary.
- f. The City shall annually provide public notification of instances of significant violation, as required by the City's Industrial Waste Ordinance and applicable Federal and State regulations.
- g. The City is entitled to deny/revoke an Industrial User Wastewater Discharge Permit, disallow/disconnect service, assess civil or criminal penalties, and/or seek other available legal and equitable remedies against an SIU for:
 - 1. Discharge to the wastewater collection system resulting in violations of the POTW's discharge permit conditions.
 - 2. Hazard to health or life of NTMWD or City personnel or users of receiving waters.
 - 3. Violation of any applicable ordinance or regulation.
 - 4. False information transmitted to the City, NTMWD, EPA, or TCEQ through permit application, monitoring, reports, etc.
- h. The City shall furnish to NTMWD all documents and records, in addition to those outlined herein, as necessary and as reasonably requested by NTMWD to demonstrate compliance by all IUs.
- i. Upon request by NTMWD, the City shall provide NTMWD with a list of all non-residential (commercial) water users annually. In addition, upon request by NTMWD, the City shall provide on an annual basis lists of businesses and industries, as prepared by the local Chamber of Commerce and Economic Development Board, if such lists are available. Upon request by NTMWD, the City shall provide NTMWD with the following information on a quarterly basis: a list of all building permits and certificates of occupancy and a list of all water and sewer connection requests. Upon request by NTMWD, the City shall provide to

NTMWD a map of its sewer/wastewater collection system and a zoning map of the City.

- j. The City may request before March 1 of each year that NTMWD amend this agreement to redefine or change the City's or NTMWD's responsibilities and activities. Upon the approval of NTMWD, such changes will be implemented on or before October of that year.
- k. The City shall designate NTMWD to be its authorized agent to administer the provisions of its Industrial Waste Ordinance as outlined in Section III below.

SECTION III. NTMWD covenants that it will administer a Pretreatment Program as required by applicable Federal and State laws and regulations (including the provisions of TPDES Permit Nos. WQ0014216001 and WQ0010384001) and that it will be the City's authorized agent to administer the Pretreatment Program as contemplated by the City's Industrial Waste Ordinance with the following responsibilities:

- a. NTMWD shall identify all SIUs and at least every three (3) years update their Industrial User Inventory.
- b. NTMWD shall review local phone books and available commercial/industrial listings (such as the Directory of Texas Manufacturers) annually to gather information to update the list of industrial users.
- c. NTMWD shall notify all IUs of applicable pretreatment standards.
- d. For each existing and future SIU, NTMWD shall require said user to complete and submit a permit application meeting TCEQ and EPA requirements. After NTMWD approval of the application, NTMWD shall develop a draft Industrial User Wastewater Discharge Permit. NTMWD shall provide to the City a copy of the permit application and the draft Industrial User Wastewater Discharge Permit for review. The City may provide comments on said application and draft Industrial User Wastewater Discharge Permit to NTMWD within fifteen (15) days of receipt of same. Failure to comment within fifteen (15) days of receipt of the application and draft Industrial User Wastewater Discharge Permit shall be construed as concurrence by the City. The City is not required to provide comments on a permit application and the draft Industrial User Wastewater Discharge Permit to NTMWD. After review of the permit application and the draft Industrial User Wastewater Discharge Permit, the City is entitled to issue the Industrial User Wastewater Discharge Permit. Said permit to discharge shall be required of all SIUs before said User will be allowed to discharge industrial wastes into the wastewater collection system. A copy of the issued Industrial User Wastewater Discharge Permit shall be sent to NTMWD by the City.
- e. For all SIUs, NTMWD and/or the City shall conduct scheduled and unscheduled inspections and sampling.

- f. NTMWD shall require all SIUs to self-monitor and report, as needed. NTMWD shall require all SIUs to install monitoring equipment and facilities, as needed.
- g. NTMWD shall choose or approve laboratories to analyze industrial wastes for self-reporting.
- h. NTMWD shall require all IUs to notify NTMWD, the City, and the POTW promptly upon the discharge of any slug load or spill that might contribute to an interference of the POTW.
- i. NTMWD shall have the authority to deny or condition new or increased contributions of pollutants to the POTW by IUs where such contributions do not meet applicable pretreatment standards and requirements or could cause the POTW to violate its TPDES permit.
- j. NTMWD shall have the authority to change or add to local limits to prevent exceedances of stream standards for specific pollutants as promulgated by TCEQ, or to prevent interference with the operation of the POTW (including sludge treatment processes, use, and disposal). Such changes to the local limits must be included in the City's Industrial Waste Ordinance and approved by TCEQ.
- k. NTMWD shall establish monitoring methods and minimum sampling frequency for SIU self-monitoring as prescribed in the approved NTMWD Pretreatment Program and the City's Industrial Waste Ordinance.
- l. NTMWD shall analyze or cause to be analyzed all industrial waste samples collected by NTMWD personnel (not the IUs). NTMWD will annually establish as part of the budget, the cost for the scheduled analyses, but reserves the right to charge according to an agreed fee schedule for demand or other samples.
- m. NTMWD shall provide interface with all regulatory personnel of both TCEQ and EPA with regards to required recordkeeping, reporting, and audits.
- n. NTMWD shall apprise the City as to changes in Pretreatment Guidance and rules that will require amendments or changes to the Pretreatment Program and provide expertise in the implementation of these changes.
- o. NTMWD shall maintain certain information contained in permit applications as confidential at a SIU's request, insofar as said request may be permitted under the Texas Public Information Act or other law.
- p. NTMWD shall develop SIU compliance schedules and meet with the City and the SIU in determining the conditions of the schedule.

- q. NTMWD shall provide the required public notification for the City to publish, as per 40 C.F.R. pt. 403.
- r. NTMWD shall aid the City in legal actions by providing expert testimony regarding sample analyses and custody transfer, the pretreatment program, etc.
- s. NTMWD shall provide the City all documents and records submitted to TCEQ and EPA regarding pretreatment activities involving the City and its IUs.
- t. NTMWD will assist the City in public information activities regarding the Pretreatment Program.
- u. NTMWD may request before March 1 of any year that the City amend this agreement to redefine or change the City's or NTMWD's responsibilities and activities. Upon the approval of the City, such changes will be implemented on or before October of that year.

SECTION IV. Upon the execution of this Agreement by all parties, the provisions of the 1990 Contract shall be void and of no further force or effect, and this Agreement shall supersede the same.

[Signature page follows.]

IN WITNESS HEREOF, the parties hereto, acting under authority of their respective governing bodies, have caused this Amended and Restated Multijurisdictional Pretreatment Agreement to be duly executed in several counterparts, of which shall constitute an original, the day and year as set forth below.

NORTH TEXAS MUNICIPAL WATER DISTRICT

By: _____
President, Board of Directors

Date: _____

ATTEST:

Secretary, Board of Directors

APPROVED AS TO FORM:

NTMWD Attorney

CITY OF WYLIE, TEXAS

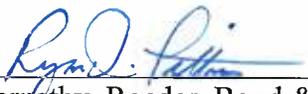
By: _____
Mindy Manson, City Manager

Date: _____

ATTEST:

Carole Ehrlich, City Secretary

APPROVED AS TO FORM:



Abernathy, Roeder, Boyd & Hullett, P.C.
Ryan D. Pittman, City Attorneys



Wylie City Council

AGENDA REPORT

Meeting Date: August 11, 2015
Department: Planning
Prepared By: Renae' Ollie
Date Prepared: August 3, 2015

Item Number: C
(City Secretary's Use Only)
Account Code: _____
Budgeted Amount: \$ _____
Exhibits: 4

Subject

Consider, and act upon, Ordinance No. 2015-25, amending Planned Development (2015-03 & 2005-24) Braddock Place Phase IV to allow three car-garages with front entry on lots 12,000 sf or less with the following conditions: a maximum of one third of the lots may have a three (3) car-garage; with the third garage having a four (4) foot offset. A maximum of one third of the lots may have a two and one half (2.5) car-garage; with the remaining one third to have a two car garage. Designs with a three car garage shall have a maximum of two doors which shall be cedar with carriage hardware. **ZC 2015-06**

Recommendation

Motion to adopt Ordinance No. 2015-25, amending Planned Development (2015-03 & 2005-24) Braddock Place Phase IV to allow three car-garages with front entry on lots 12,000 sf or less with the following conditions: a maximum of one third of the lots may have a three (3) car-garage; with the third garage having a four (4) foot offset. A maximum of one third of the lots may have a two and one half (2.5) car-garage; with the remaining one third to have a two car garage. Designs with a three car garage shall have a maximum of two doors which shall be cedar with carriage hardware.
ZC 2015-06

Discussion

Owner: BPE Phase IV SF Ltd

Applicant: Ryan Joyce, BPE Phase IV SF Ltd

Zoning Case 2015-06 requires an Ordinance to amend the zoning accordingly in the Official Zoning map of the City; and providing a penalty clause, a repeal clause, a savings clause, a severability clause, and an effective date.

The subject ordinance allows a percentage of front entry garages to face a public street on lots 12,000 sf or less only within Phase IV of the Braddock Place Addition.

1/3 of the lots may have a maximum of 3 car garages that face a public street.

1/3 of the lots may have 2-1/2 car garage that face a public street.

1/3 of the lots may have 2 car garage that face a public street.

Exhibits A (Legal Description), B (Location Map), C (Final Plat) are included and made a part of this Ordinance.

The above described property shall be used only in the manner and for the purposes provided for in the Comprehensive Zoning Ordinance of the City, as amended herein by the granting of this zoning classification.

ORDINANCE NO. 2015-25

AN ORDINANCE OF THE CITY OF WYLIE, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF WYLIE, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING ON THE HEREINAFTER DESCRIBED PROPERTY, ZONING CASE NUMBER 2015-06, FROM PLANNED DEVELOPMENT (PD-2015-03 & PD-2005-24) DISTRICT TO PLANNED DEVELOPMENT (PD) DISTRICT – TO ALLOW THREE CAR-GARAGES WITH FRONT ENTRY ON LOTS 12,000 SF OR LESS; A MAXIMUM OF ONE THIRD OF THE LOTS MAY HAVE A THREE (3) CAR-GARAGE; WITH THE THIRD GARAGE HAVING A FOUR (4) FOOT OFFSET. A MAXIMUM OF ONE THIRD OF THE LOTS MAY HAVE A TWO AND ONE HALF (2.5) CAR-GARAGE; WITH THE REMAINING ONE THIRD TO HAVE A TWO CAR GARAGE. DESIGNS WITH A THREE CAR GARAGE SHALL HAVE A MAXIMUM OF TWO DOORS WHICH SHALL BE CEDAR WITH CARRIAGE HARDWARE; PROVIDING FOR A PENALTY FOR THE VIOLATION OF THIS ORDINANCE; PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission and the governing body of the City of Wylie, Texas, in compliance with the laws of the State of Texas with reference to the amendment of the Comprehensive Zoning Ordinance, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to owners of the affected property, the governing body of the City is of the opinion and finds that the Comprehensive Zoning Ordinance and Map should be amended;

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS:

SECTION 1: That the Comprehensive Zoning Ordinance of the City of Wylie, Texas, be, and the same is hereby, amended by amending the Zoning Map of the City of Wylie, to give the hereinafter described property a new zoning classification of Planned Development (PD), said property being described in Exhibit “A” (Legal Description), Exhibit “B” (Location Map), Exhibit “C” (Final Plat) attached hereto and made a part hereof for all purposes.

SECTION 2: That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby, repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

Ordinance No. 2015-25

Change the zoning on the hereinafter described property
to allow three car-garages with front entry on lots 12,000 sf or less;

SECTION 3: That the above described property shall be used only in the manner and for the purposes provided for in the Comprehensive Zoning Ordinance of the City, as amended herein by the granting of this zoning classification.

SECTION 4: Any person, firm or corporation violating any of the provisions of this ordinance or the Comprehensive Zoning Ordinance, as amended hereby, commits an unlawful act and shall be subject to the general penalty provisions of Section 1.5 of the Zoning Ordinance, as the same now exists or is hereafter amended.

SECTION 5: Should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provision thereof, other than the part so declared to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 6: This ordinance shall be in full force and effect from and after its adoption by the City Council and publication of its caption as the law and the City Charter provide in such cases.

SECTION 7: The repeal of any ordinance, or parts thereof, by the enactment of this Ordinance, shall not be construed as abandoning any action now pending under or by virtue of such ordinance; nor shall it have the effect of discontinuing, abating, modifying or altering any penalty accruing or to accrue, nor as effecting any rights of the municipality under any section or provisions of any ordinances at the time of passage of this ordinance.

DULY PASSED AND APPROVED by the City Council of the City of Wylie, Texas, this 11th day of August, 2015.

Eric Hogue, Mayor

ATTEST:

Carole Ehrlich, City Secretary

DATE OF PUBLICATION: August 19th, 2015 *in the Wylie News*

Ordinance No. 2015-25
Change the zoning on the hereinafter described property
to allow three car-garages with front entry on lots 12,000 sf or less;

Continuation of Schedule A

EXHIBIT "A"

BEING, a tract of land situated in Nathaniel Atterberry Survey, Abstract No. 1099 and the E.M. Price Survey, Abstract No. 725, in the City of Wylie, being part of a 185.1449 acre tract, as described in Clerks File No. 20060119000079810 in the Deed Records of Collin County, Texas, being more particularly described as follows:

BEGINNING at a ½ inch iron rod found at the most easterly southeast corner of Braddock Place Phase I, an addition to the City of Wylie, as described in Doc. No. 2004-596, in the Plat Records of Collin County, Texas, being in the west line of F.M. 544 (90' R.O.W.), same being in the east line of said 185.1449 acre tract;

THENCE, South 00°52'55" East, along the east line of said 185.1449 acre tract and the west line of said F.M. 544, for a distance of 808.36, to a ½ inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.";

THENCE, South 89°07'05" West, departing said lines, for a distance of 255.04 feet, to a ½ inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.";

THENCE, South 00°52'55" East, for a distance of 16.03 feet, to a ½ inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.";

THENCE, South 89°07'05" West, for a distance of 217.24 feet, to a ½ inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.", at the point of curvature of a curve to the left, having a radius of 515.00 feet, a central angle of 14°32'00", and a tangent of 65.67 feet,

THENCE, along said curve to the left for an arc distance of 130.63 feet (Chord Bearing South 81°51'05" West - 130.28 feet), to a ½ inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.", being on a curve to the right, having a radius of 225.00 feet, a central angle of 13°46'43", and a tangent of 27.19 feet;

THENCE, along said curve to the right for an arc distance of 54.11 feet (Chord Bearing South 07°46'16" East - 53.98 feet), to a ½ inch iron rod set with a yellow cap stamped "Corwin Eng. Inc." at the point of tangency;

THENCE, South 00°52'55" East, for a distance of 4.29 feet, to a ½ inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.", at the point of curvature of a curve to the right, having a radius of 215.00 feet, a central angle of 18°34'55", and a tangent of 35.17 feet;

THENCE, along said curve to the right for an arc distance of 69.73 feet (Chord Bearing South 08°24'32" West - 69.42 feet), to a ½ inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.", on a curve to the right, having a radius of 1815.00 feet, a central angle of 13°40'43", and a tangent of 217.69 feet;

THENCE, along said curve to the right for an arc distance of 433.31 feet (Chord Bearing South 79°21'38" West - 432.28 feet), to a ½ inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.", at the point of reverse curvature of a curve to the left, having a radius of 105.00 feet, a central angle of 43°38'53" and a tangent of 42.05 feet;

THENCE, along said curve to the left for an arc distance of 79.99 feet (Chord Bearing South 64°22'33" West - 78.07 feet), to a ½ inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.";

THENCE, South 47°26'53" East, for a distance of 3.17 feet, to a ½ inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.";

THENCE, South 42°33'07" West, for a distance of 170.00 feet, to a ½ inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.";

THENCE, North 47°26'53" West, for a distance of 468.00 feet, to a ½ inch iron rod set with a yellow cap stamped "Corwin

Continuation of Schedule A

Eng. Inc.”;

THENCE, South 42°33'07" West, for a distance of 240.00 feet, to a ½ inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.”;

THENCE, North 47°26'53" West, for a distance of 48.18 feet, to a ½ inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.”;

THENCE, South 42°33'07" West, for a distance of 179.80 feet, to a ½ inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.”, being a point in the west line of said 185.1449 acre tract;

THENCE, North 47°41'51" West, along the west line of said 185.1449 acre tract, for a distance of 49.77 feet, to a ½ inch iron rod found;

THENCE, North 47°43'58" West, continuing along said west line, for a distance of 50.23 feet, to a ½ inch iron rod found at the most southerly southwest corner of Braddock Place Phase II, an addition to the City of Wylie, as described Document No. 2013-341 in said Plat Records;

THENCE, North 42°33'07" East, departing said west line and along the south line of said Braddock Place Phase II, for a distance of 180.27 feet, to a ½ inch iron rod found;

THENCE North 47°26'53" West, continuing along said south line, for a distance of 21.82 feet, to a ½ inch iron rod found;

THENCE, North 42°33'07" East, continuing along said south line, for a distance of 460.00 feet, to a ½ inch iron rod found;

THENCE, North 32°46'02" East, continuing along said south line, for a distance of 101.48 feet, to a ½ inch iron rod found at the most southerly southeast corner of said Braddock Phase II also being the most southerly southwest corner of said Braddock Place Phase I;

THENCE, North 42°33'07" East, along the south line of said Braddock Place Phase I, for a distance of 88.15 feet, to a ½ inch iron found;

THENCE, South 89°38'47" East, continuing along said south line, for a distance of 261.87 feet, to a ½ inch iron rod found at the point of curvature of a curve to the left, having a radius of 1230.00 feet, a central angle of 29°59'49", and a tangent of 329.54 feet;

THENCE, continuing along said south line and with said curve to the left for an arc distance of 643.96 feet (Chord Bearing North 75°21'19" East - 636.63 feet), to a ½ inch iron rod found;

THENCE, North 67°30'12" East, continuing along said south line, for a distance of 239.66 feet, to a ½ inch iron found;

THENCE, North 00°52'55" East, continuing along said south line, for a distance of 218.93 feet, to a ½ inch iron rod found on a curve to the right, having a radius of 345.00 feet, a central angle of 06°52'45", and a tangent of 20.74 feet;

THENCE, continuing along said south line and with said curve to the right for an arc distance of 41.42 feet (Chord Bearing North 86°20'04" East - 41.40 feet), to a ½ inch iron rod found at the point of tangency;

THENCE, North 89°46'26" East, continuing along said south line, for a distance of 268.67 feet, to the POINT OF BEGINNING and containing 24.144 acres of land.

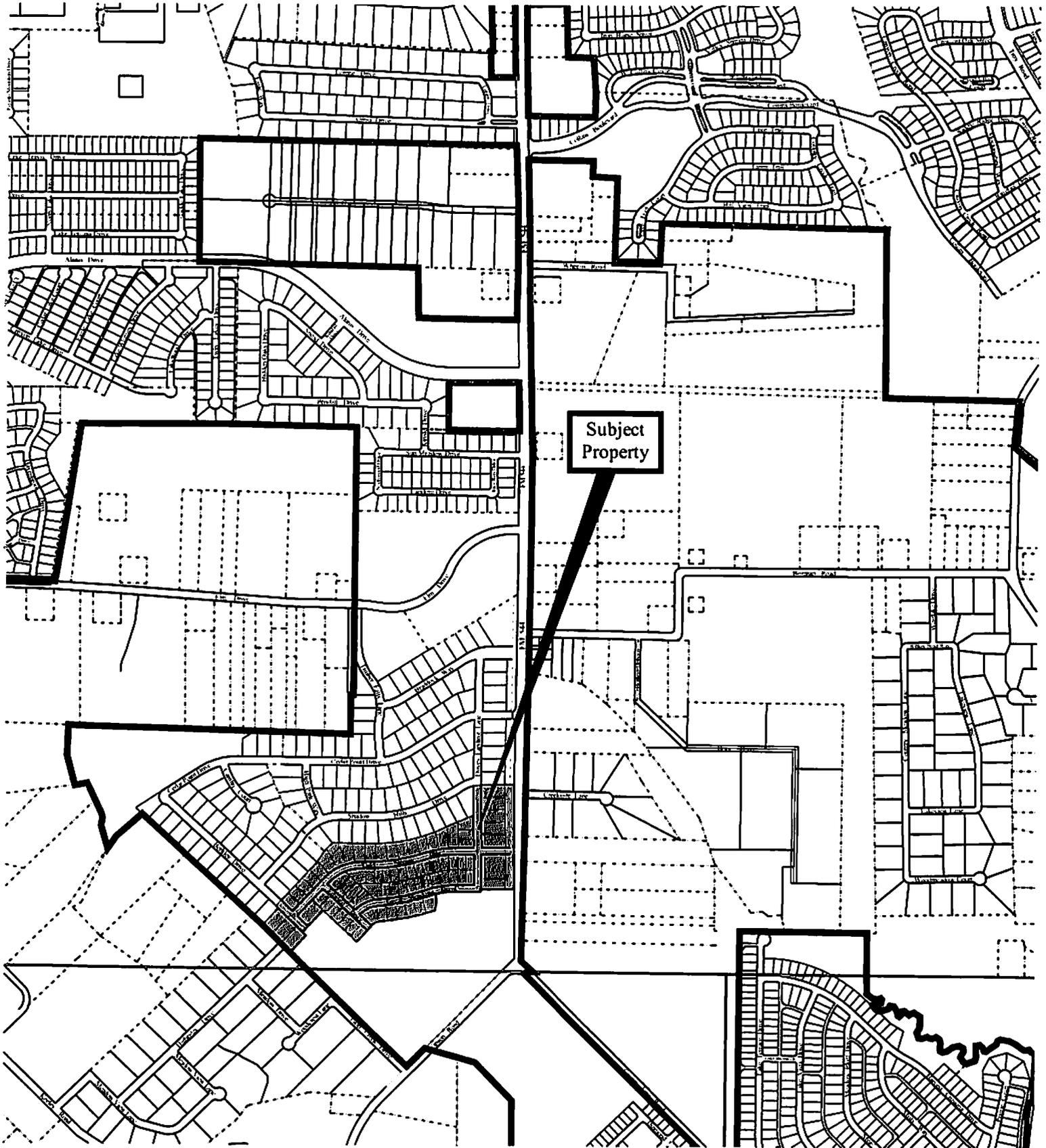
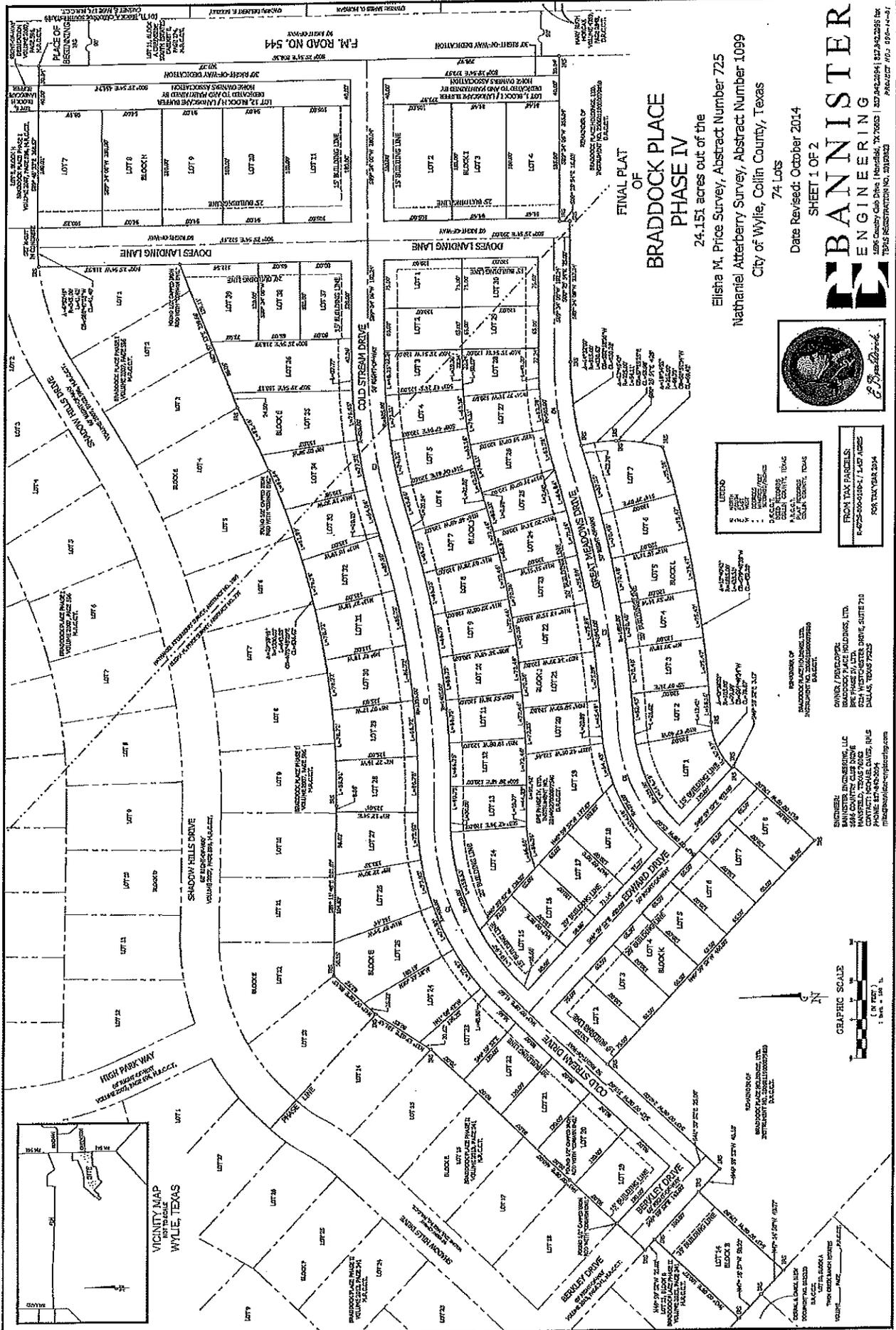


EXHIBIT "B"
LOCATION MAP
ZONING CASE #2015-06

EXHIBIT "C"



FINAL PLAT OF BRADDOCK PLACE PHASE IV

24.151 acres out of the
Elisha M. Price Survey, Abstract Number 725
Nathaniel Atterberry Survey, Abstract Number 4099
City of Wylie, Collin County, Texas
74 Lots

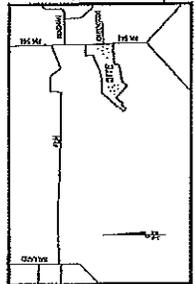
Date Revised: October 2014
SHEET 1 OF 2



LEGEND
 - - - - - EASEMENT
 - - - - - RIGHT-OF-WAY
 - - - - - DEDICATION
 - - - - - UNDEVELOPED LAND
 - - - - - UNDEVELOPED LOT
 - - - - - UNDEVELOPED BLOCK

FROM TAX PARCELS
 14-0225000100-17 LOT AIDS
 FOR TAX YEAR 2014

ENGINEER
 BANNISTER ENGINEERING, LLC
 5845 COUNTY CLUB DRIVE
 BRADDOCK PLACE, TEXAS 75001
 PHONE: 972-482-8244
 mbannister@bannistereng.com





Wylie City Council

AGENDA REPORT

Meeting Date: August 11, 2015
Department: Planning
Prepared By: Renaë' Ollie
Date Prepared: July 30, 2015

Item Number: D
(City Secretary's Use Only)
Account Code: _____
Budgeted Amount: _____
Exhibits: 4

Subject

Consider, and act upon, Ordinance No. 2015-26, amending the zoning from Single Family Residential (SF 10/24) District to Neighborhood Service (NS), to allow an engineering firm to operate business. Property generally located at 634 North Ballard. **ZC 2015-05**

Recommendation

Motion to adopt Ordinance No. 2015-26, amending the zoning from Single Family Residential (SF 10/24) District to Neighborhood Service (NS), to allow an engineering firm to operate business. Property generally located at 634 North Ballard. **ZC 2015-05**

Discussion

Owner: David and Patricia Heath

Applicant: TDC2, LLC

Zoning Case 2015-05 requires an Ordinance to amend the zoning accordingly in the Official Zoning map of the City; and providing a penalty clause, a repeal clause, a savings clause, a severability clause, and an effective date.

The subject property totals 1.889 acres in size and shall be developed in accordance with regulations under the Neighborhood Services Zoning District.

Exhibits A (Location Map), B (Boundary Map), C (Concept Plan) are included and made a part of this Ordinance.

The above described property shall be used only in the manner and for the purposes provided for in the Comprehensive Zoning Ordinance of the City, as amended herein by the granting of this zoning classification.

ORDINANCE NO. 2015- 26

AN ORDINANCE OF THE CITY OF WYLIE, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF WYLIE, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING ON THE HEREINAFTER DESCRIBED PROPERTY, ZONING CASE NUMBER 2015-05, FROM SINGLE FAMILY RESIDENTIAL (SF 10/24) DISTRICT TO NEIGHBORHOOD SERVICE (NS), TO ACCOMMODATE A GENERAL OFFICE USE (ENGINEERING FIRM); PROVIDING FOR A PENALTY FOR THE VIOLATION OF THIS ORDINANCE; PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission and the governing body of the City of Wylie, Texas, in compliance with the laws of the State of Texas with reference to the amendment of the Comprehensive Zoning Ordinance, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to owners of the affected property, the governing body of the City is of the opinion and finds that the Comprehensive Zoning Ordinance and Map should be amended;

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS:

SECTION 1: That the Comprehensive Zoning Ordinance of the City of Wylie, Texas, be, and the same is hereby, amended by amending the Zoning Map of the City of Wylie, to give the hereinafter described property a new zoning classification of Neighborhood Services (NS), said property being described in Exhibit "A" (Location Map), Exhibit "B" (Boundary Map), and Exhibit "C" (Concept Plan) attached hereto and made a part hereof for all purposes.

SECTION 2: That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby, repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 3: That the above described property shall be used only in the manner and for the purposes provided for in the Comprehensive Zoning Ordinance of the City, as amended herein by the granting of this zoning classification.

SECTION 4: Any person, firm or corporation violating any of the provisions of this ordinance or the Comprehensive Zoning Ordinance, as amended hereby, commits an unlawful act and shall be subject to the general penalty provisions of Section 1.5 of the Zoning Ordinance, as the same now exists or is hereafter amended.

SECTION 5: Should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provision thereof, other than the part so declared to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 6: This ordinance shall be in full force and effect from and after its adoption by the City Council and publication of its caption as the law and the City Charter provide in such cases.

SECTION 7: The repeal of any ordinance, or parts thereof, by the enactment of this Ordinance, shall not be construed as abandoning any action now pending under or by virtue of such ordinance; nor shall it have the effect of discontinuing, abating, modifying or altering any penalty accruing or to accrue, nor as effecting any rights of the municipality under any section or provisions of any ordinances at the time of passage of this ordinance.

DULY PASSED AND APPROVED by the City Council of the City of Wylie, Texas, this 11th day of August, 2015.

Eric Hogue, Mayor

ATTEST:

Carole Ehrlich, City Secretary

DATE OF PUBLICATION: August 19th, 2015, *in the* Wylie News.

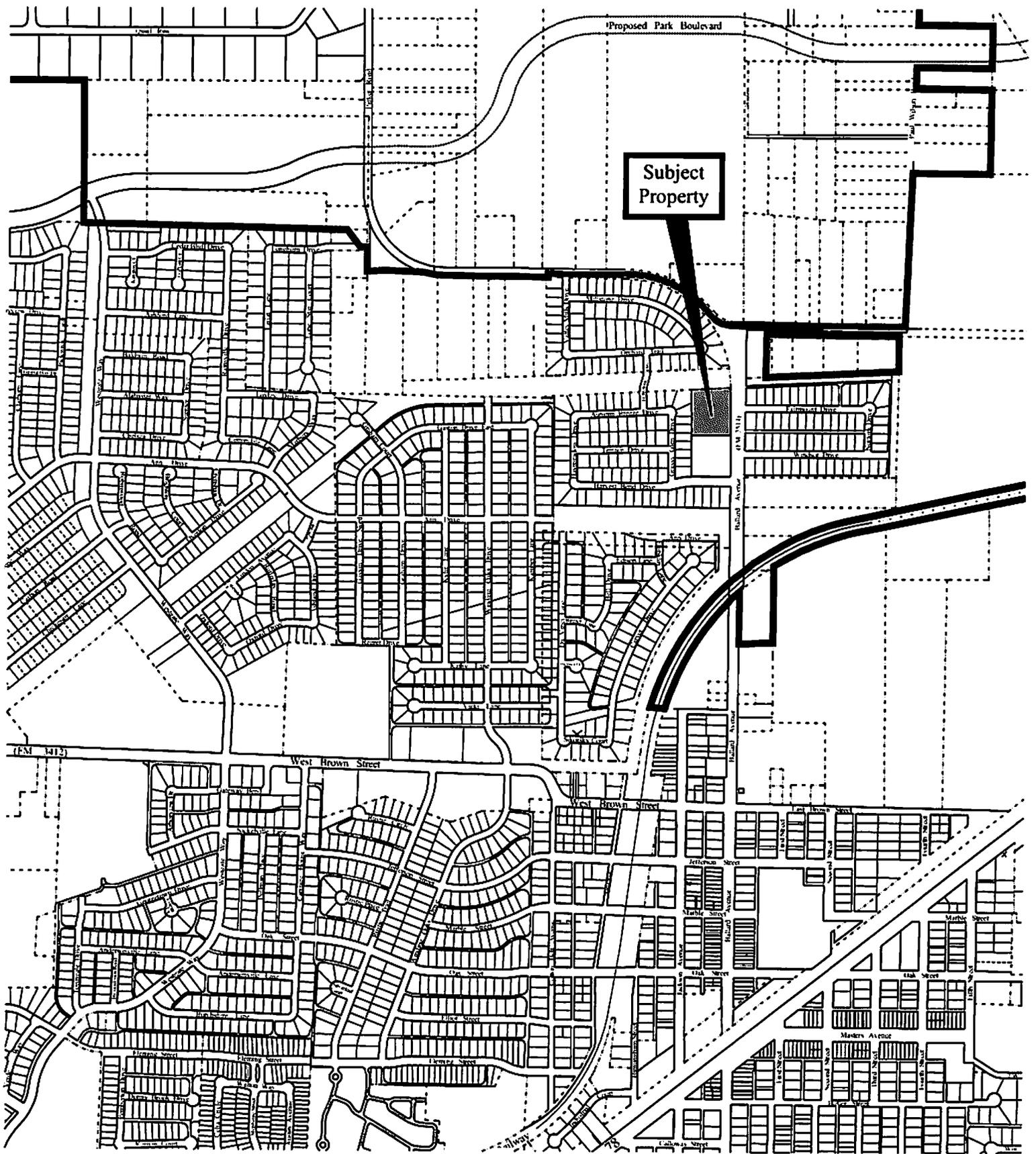
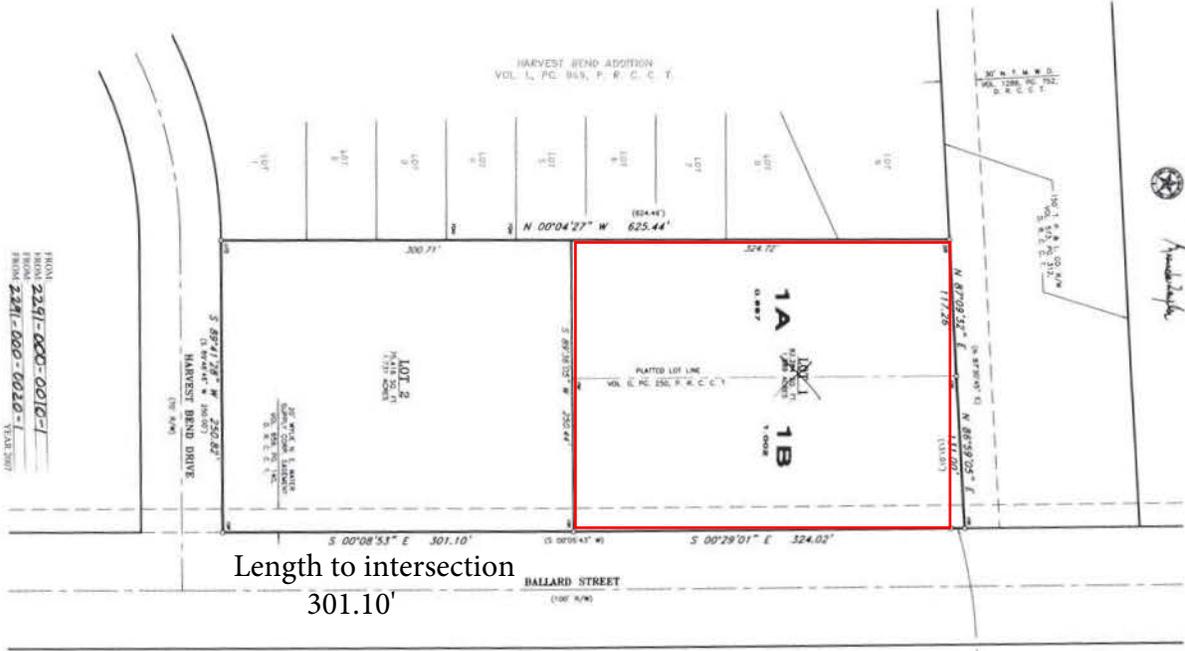


EXHIBIT "A"
LOCATION MAP
ZONING CASE #2015-05

Exhibit B

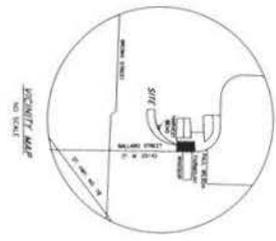


Length to intersection
301.10'

HON. FROM 2291-000-0010-1
BOOK 2291-000-0010 - 1
YEAR 2007

SCALE 1" = 50'
0 50 100
NORTH ARROW
MAGNETIC NORTH
DECLINATION
MAGNETIC NORTH
DECLINATION
MAGNETIC NORTH
DECLINATION

- LEGEND**
- 1 RECORD DATA PER DEED/PLAT
 - 2 FOUND 1/2" REBAR
 - 3 SET 1/2" REBAR W/COMP
 - 4 MARKED SETS 45°/90°
 - 5 FOUND 1/2" REBAR W/COMP
 - 6 MARKED SETS
 - 7 UNABLE TO SET
 - 8 P.L.C.T. PLAT RECORDS OF COLLIN CO., TX
 - 9 S.W.E.C.T. DEED RECORDS OF COLLIN CO., TX



SUBMITTAL CERTIFICATE

I, Robert Fisher, do hereby certify that I prepared this plat and the field notes hereon, and that the same were prepared under my direct supervision and that the same are true and correct copies of the original records and the subdivision plat as recorded in the Public Records of Collin County, Texas.

STATE OF TEXAS
COUNTY OF COLLIN

APPROVED: Robert Fisher
Surveyor

DATE: 11/28/2006



DENSEL KREHBIEL
STATE OF TEXAS
COUNTY OF COLLIN

That, Robert Fisher and Patricia A. Schumaker, do hereby deposit this plat depicting the subdivision of the above-described property of the Fisher-Schumaker Addition, as shown on the attached plat, in the Public Records of Collin County, Texas, and do hereby certify that the same are true and correct copies of the original records and the subdivision plat as recorded in the Public Records of Collin County, Texas.

STATE OF TEXAS
COUNTY OF COLLIN

APPROVED: Robert Fisher
Surveyor

DATE: 11/28/2006

ACKNOWLEDGMENT

This instrument was acknowledged before me on the 2 day of May, 2006, by Robert Fisher and Patricia A. Schumaker, both of whom are known to me to be the persons whose names are subscribed to the foregoing instrument, and they acknowledged to me that they executed the same for the purposes and consideration therein expressed.

My Comm. Expires: 11/28/2006

Notary Public, State of Texas



ACKNOWLEDGMENT

This instrument was acknowledged before me on the 15 day of May, 2006, by Robert Fisher and Patricia A. Schumaker, both of whom are known to me to be the persons whose names are subscribed to the foregoing instrument, and they acknowledged to me that they executed the same for the purposes and consideration therein expressed.

My Comm. Expires: 11/28/2006

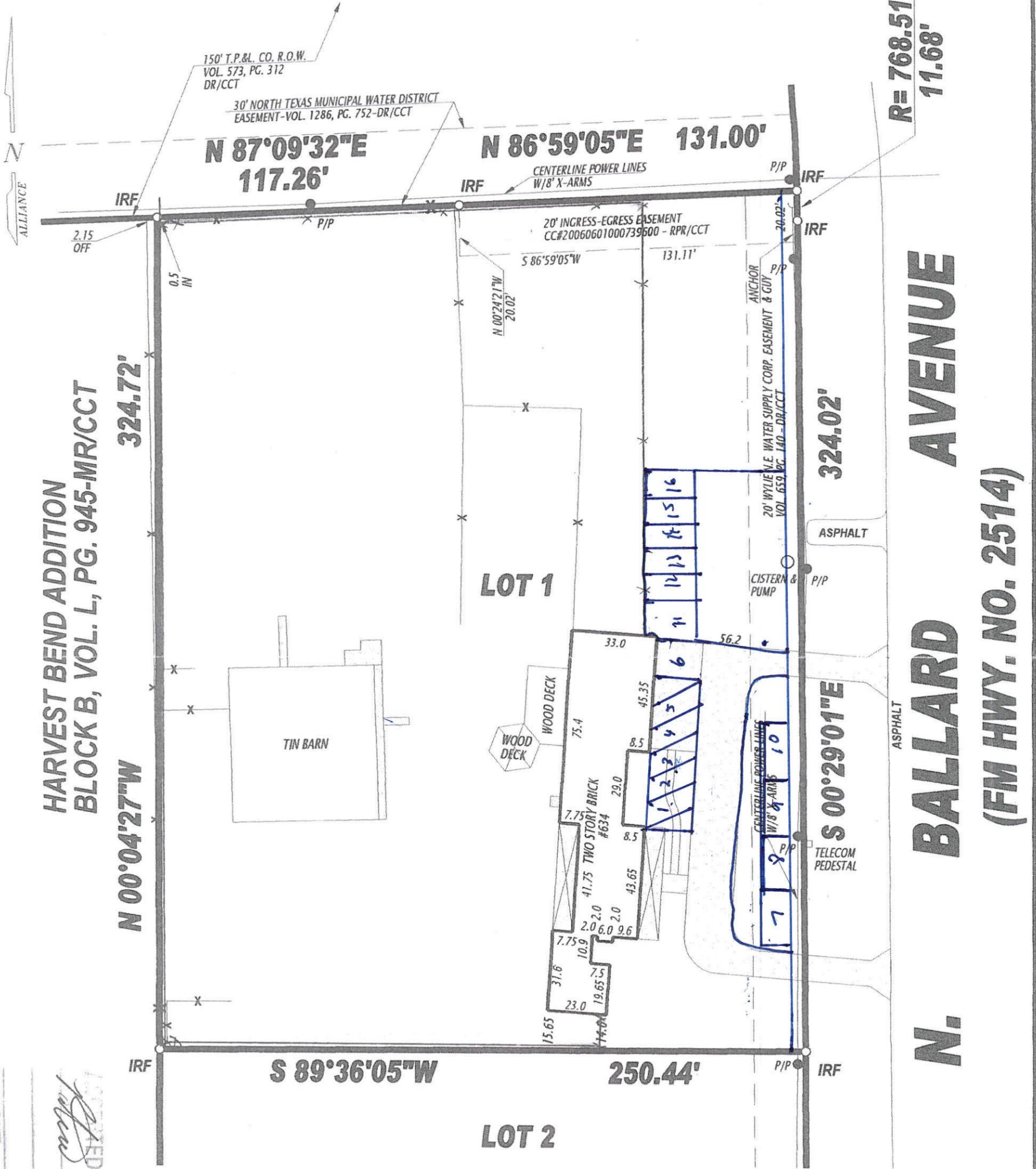
Notary Public, State of Texas

FINAL PLAT
OF THE
S9158
PARKER - SCHUEHROFF ADDITION
OUT OF THE
M. D. PENNY SUBDIVISION,
ABSTRACT NUMBER 0986,
COLLIN COUNTY, TEXAS.

EXHIBIT "C"

SURVEY PLAT

THIS IS TO CERTIFY that I have, this date, made a careful and accurate survey, on the ground of property located at No. 634 N. BALLARD AVENUE (FM HWY. NO. 2514) in the City of WYLIE, COLLIN County, Texas. Being Lot 1, Block of PARKER - SCHUERHOFF ADDITION, an addition to the city of WYLIE, COLLIN COUNTY, Texas, according to the MAP OR PLAT thereof recorded in VOLUME 2006, PAGE 421 of the MAP Records of COLLIN County, Texas. And, According to Community-Panel No. 48085C - 0470 Rev. G of the FEDERAL EMERGENCY MANAGEMENT AGENCY Flood Hazard Boundary or Flood Insurance Rate Maps dated 1-19-96, the subject property IS NOT located in a designated Zone A (Area of 100 Year Flood Plain).



**HARVEST BEND ADDITION
BLOCK B, VOL. L, PG. 945-MR/CCT**

**N. BALLARD AVENUE
(FM HWY. NO. 2514)**

DATE _____
 PREPARED AND APPROVED
Phil Wylie

THE AMERICAN NATIONAL BANK OF TEXAS & COMMONWEALTH LAND TITLE in connection with the transaction described in GF No. 2232001992. Use of this survey by other parties and/or for other purposes shall be at user's risk and any loss resulting from other use shall not be the responsibility of the undersigned. AND the plat hereon is a correct and accurate representation of the property; lines and dimensions are as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, all improvements are located within the boundaries the distances indicated; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

PURCHASER: SCHUERHOFF
 SCALE: 1"=40'
 DATE: 3/30/07
 JOB NO: 207018
 DRAWN BY: pw
 ALLIANCE LAND TITLE SURVEYS
 2702 HILLGLEN RD.
 DALLAS, TEXAS 75228
 972-325-1694 FAX 972-325-1694

STATE OF TEXAS
 REGISTERED
 PHIL WYLIE
 4653
 PROFESSIONAL
 LAND SURVEYOR
Phil Wylie
 Phil Wylie - Registered Professional Land Surveyor No. 4653



Wylie City Council

AGENDA REPORT

Meeting Date: August 11, 2015
Department: Planning
Prepared By: Renaë' Ollie
Date Prepared: August 4, 2015

Item Number: E
(City Secretary's Use Only)
Account Code: _____
Budgeted Amount: _____
Exhibits: 1

Subject

Consider, and act upon an approval of a Final Plat for Bozman Farm Estates Phase 5, establishing 193 single family residential lots and two open space lots on 69.071 acres, generally located at Collins Boulevard and Troy Road.

Recommendation

Motion to approve a Final Plat for Bozman Farm Estates Phase 5, establishing 193 single family residential lots and two open space lots on 69.071 acres, generally located at Collins Boulevard and Troy Road.

Discussion

Owner: Development Solutions BZ, LLC

Applicant: Ridinger Associates, Inc.

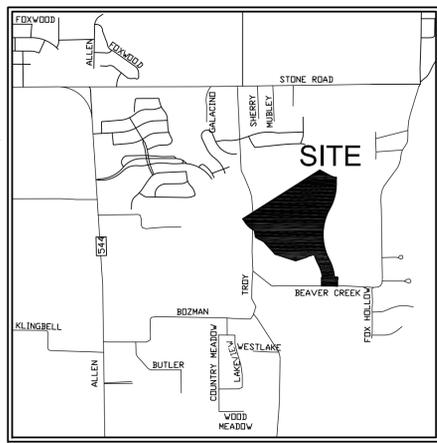
The purpose of the plat is to create 193 single-family residential lots and two open space lots on 69.071 acres. The property is part of an overall Planned Development Ordinance 2002-52.

The plat creates Phase 5 of the Bozeman Farm Estates and is consistent with the PD conditions set forth.

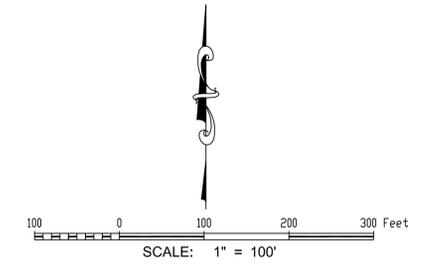
The two open space lots are labeled with an "X" and will be owned and maintained by the HOA.

This Final Plat complies with all applicable technical requirements of the City of Wylie and substantially conforms to the adopted PD provisions; and the plat is recommended for approval subject to additions and/or alterations to the engineering plans as required by the Engineering Department.

The Commission voted 7-0 to recommend approval of the request.

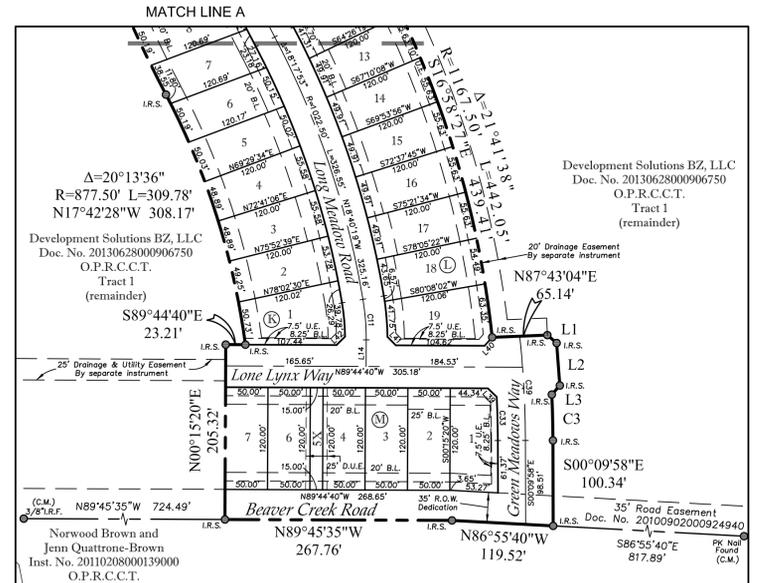
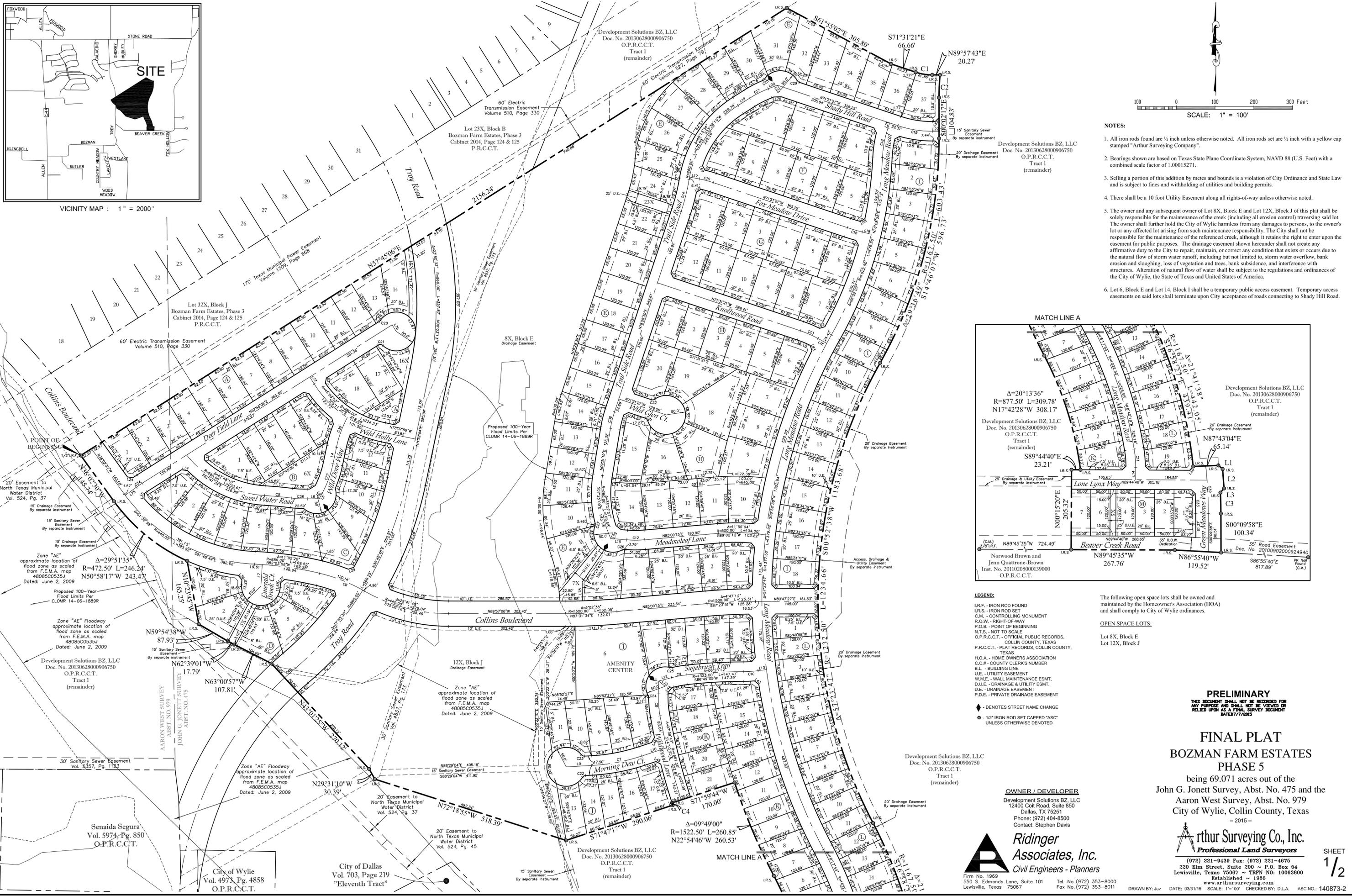


VICINITY MAP : 1" = 2000'



NOTES:

- All iron rods found are 1/2 inch unless otherwise noted. All iron rods set are 1/2 inch with a yellow cap stamped "Arthur Surveying Company".
- Bearings shown are based on Texas State Plane Coordinate System, NAVD 88 (U.S. Feet) with a combined scale factor of 1.00015271.
- Selling a portion of this addition by metes and bounds is a violation of City Ordinance and State Law and is subject to fines and withholding of utilities and building permits.
- There shall be a 10 foot Utility Easement along all rights-of-way unless otherwise noted.
- The owner and any subsequent owner of Lot 8X, Block E and Lot 12X, Block J of this plat shall be solely responsible for the maintenance of the creek (including all erosion control) traversing said lot. The owner shall further hold the City of Wylie harmless from any damages to persons, to the owner's lot or any affected lot arising from such maintenance responsibility. The City shall not be responsible for the maintenance of the referenced creek, although it retains the right to enter upon the easement for public purposes. The drainage easement shown hereunder shall not create any affirmative duty to the City to repair, maintain, or correct any condition that exists or occurs due to the natural flow of storm water runoff, including but not limited to, storm water overflow, bank erosion and sloughing, loss of vegetation and trees, bank subsidence, and interference with structures. Alteration of natural flow of water shall be subject to the regulations and ordinances of the City of Wylie, the State of Texas and United States of America.
- Lot 6, Block E and Lot 14, Block J shall be a temporary public access easement. Temporary access easements on said lots shall terminate upon City acceptance of roads connecting to Shady Hill Road.



LEGEND:

- I.R.S. - IRON ROD FOUND
- I.R.S. - IRON ROD SET
- C.M. - CONTROLLING MONUMENT
- R.O.W. - RIGHT-OF-WAY
- P.O.B. - POINT OF BEGINNING
- N.T.S. - NOT TO SCALE
- O.P.R.C.C.T. - OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS
- P.R.C.C.T. - PLAT RECORDS, COLLIN COUNTY, TEXAS
- H.O.A. - HOME OWNERS ASSOCIATION
- C.C.# - COUNTY CLERK'S NUMBER
- B.L. - BUILDING LINE
- U.E. - UTILITY EASEMENT
- W.M.E. - WALL MAINTENANCE ESMT.
- D.U.E. - DRAINAGE & UTILITY ESMT.
- D.E. - DRAINAGE EASEMENT
- P.D.E. - PRIVATE DRAINAGE EASEMENT
- ◆ - DENOTES STREET NAME CHANGE
- - 1/2" IRON ROD SET CAPPED "ASC" UNLESS OTHERWISE DENOTED

The following open space lots shall be owned and maintained by the Homeowner's Association (HOA) and shall comply to City of Wylie ordinances.

OPEN SPACE LOTS:

- Lot 8X, Block E
- Lot 12X, Block J

PRELIMINARY

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT DATED 7/7/2015

FINAL PLAT
BOZMAN FARM ESTATES
PHASE 5

being 69.071 acres out of the
John G. Jonett Survey, Abst. No. 475 and the
Aaron West Survey, Abst. No. 979
City of Wylie, Collin County, Texas
- 2015 -

Arthur Surveying Co., Inc.
Professional Land Surveyors

(972) 221-9439 Fax: (972) 221-4675
220 Elm Street, Suite 200 ~ P.O. Box 54
Lewisville, Texas 75067 ~ TRFN No. 10063800
Established ~ 1986
www.arthursurveying.com

Ridinger Associates, Inc.
Civil Engineers - Planners

Firm No. 1969
550 S. Edmonds Lane, Suite 101
Lewisville, Texas 75067
Tel. No. (972) 353-8000
Fax No. (972) 353-8011

State of Texas §
County of Collin §
Owner's Certificate and Dedication

WHEREAS DEVELOPMENT SOLUTIONS BZ, LLC is the owner of all that certain lot, tract or parcel of land situated in the Aaron West Survey, Abstract Number 979 and the John G. Jonett Survey, Abstract Number 475, City of Wylie, Collin County, Texas, and being a part of that certain tract of land described by deed to Development Solutions BZ, LLC, recorded under Document Number 20130628000906750 of the Official Public Records of Collin County, Texas, and more particularly described as follows:

BEGINNING at a ½ inch iron rod found for the southwest corner of Bozman Farm Estates, Phase 3, an addition to the City of Wylie, Collin County, Texas, according to the plat thereof recorded in Cabinet 2014, Page 124 and 125 of the Plat Records of Collin County, Texas, said point being in the southwesterly line of Collins Boulevard, being in the southeast line of a 60 foot wide Electric Transmission Easement, recorded in Volume 510, Page 330, Deed Records, Collin County, Texas;

THENCE North 57 degrees 45 minutes 06 seconds East, with the southeast line of said Bozman Farm Estates, Phase 3 and the with the southeast line of said 60 foot wide easement, a distance of 2156.24 feet to a ½ inch iron rod with a yellow cap stamped "ARTHUR SURVEYING COMPANY" (ASC) set for corner in the southeast line of a 60 foot wide Electric Transmission Easement, recorded in Volume 527, Page 79 of the Deed Records of Collin County, Texas;

THENCE South 61 degrees 55 minutes 02 seconds East, a distance of 305.80 feet to a ½ inch iron rod with a yellow cap stamped "ASC" set for corner;

THENCE South 71 degrees 31 minutes 21 seconds East, a distance of 66.66 feet to a ½ inch iron rod with a yellow cap stamped "ASC" set for corner, being at the beginning of a curve to the left having a radius of 135.00 feet, a delta angle of 18 degrees 30 minutes 56 seconds, whose chord bears South 80 degrees 46 minutes 49 seconds East, a distance of 43.44 feet;

THENCE continuing with said curve, an arc length of 43.63 feet to a ½ inch iron rod with a yellow cap stamped "ASC" set for corner;

THENCE North 89 degrees 57 minutes 43 seconds East, a distance of 20.27 feet to a ½ inch iron rod with a yellow cap stamped "ASC" set for corner, being at the beginning of a non-tangent curve to the left having a radius of 610.00 feet, a delta angle of 05 degrees 29 minutes 59 seconds, whose chord bears South 02 degrees 42 minutes 42 seconds West, a distance of 58.53 feet;

THENCE continuing with said curve, an arc length of 58.55 feet to a ½ inch iron rod with a yellow cap stamped "ASC" set for corner;

THENCE South 00 degrees 02 minutes 17 seconds East, a distance of 104.83 feet to a ½ inch iron rod with a yellow cap stamped "ASC" set for corner, being at the beginning of a curve to the right having a radius of 1167.50 feet, a delta angle of 29 degrees 36 minutes 49 seconds, whose chord bears South 14 degrees 46 minutes 07 seconds West, a distance of 596.73 feet;

THENCE continuing with said curve, an arc length of 603.43 feet to a ½ inch iron rod with a yellow cap stamped "ASC" set for corner, being at the beginning of a reverse curve to the left having a radius of 1232.50 feet, a delta angle of 57 degrees 23 minutes 47 seconds, whose chord bears South 00 degrees 52 minutes 38 seconds West, a distance of 1183.68 feet;

THENCE continuing with said curve, an arc length of 1234.66 feet to a ½ inch iron rod with a yellow cap stamped "ASC" set for corner, being at the beginning of a reverse curve to the right having a radius of 1167.50 feet, a delta angle of 21 degrees 41 minutes 38 seconds, whose chord bears South 16 degrees 58 minutes 27 seconds East, a distance of 439.41 feet;

THENCE continuing with said curve, an arc length of 442.05 feet to a ½ inch iron rod with a yellow cap stamped "ASC" set for corner;

THENCE North 87 degrees 43 minutes 04 seconds East, a distance of 65.14 feet to a ½ inch iron rod with a yellow cap stamped "ASC" set for corner;

THENCE South 49 degrees 42 minutes 34 seconds East, a distance of 14.38 feet to a ½ inch iron rod with a yellow cap stamped "ASC" set for corner;

THENCE South 04 degrees 17 minutes 48 seconds East, a distance of 50.02 feet to a ½ inch iron rod with a yellow cap stamped "ASC" set for corner;

THENCE South 41 degrees 44 minutes 28 seconds East, a distance of 14.23 feet to a ½ inch iron rod with a yellow cap stamped "ASC" set for corner, being at the beginning of a non-tangent curve to the right having a radius of 1232.50 feet, a delta angle of 02 degrees 30 minutes 14 seconds, whose chord bears South 01 degrees 23 minutes 05 seconds East, a distance of 53.86 feet;

THENCE continuing with said curve, an arc length of 53.86 feet to a ½ inch iron rod with a yellow cap stamped "ASC" set for corner;

THENCE South 00 degrees 09 minutes 58 seconds East, a distance of 100.34 feet to a ½ inch iron rod with a yellow cap stamped "ASC" set in Beaver Creek Road, a gravel road, and being in the south line of said Development Solutions BZ tract and being in the north line of that certain tract of land described by deed to Norwood Brown and Jenn Quattrone-Brown, recorded under Instrument Number 20110208000139000 of the Official Public Records of Collin County, Texas, said point also being in the south line of a 35 foot wide Road Easement, recorded under Document Number 20100902000924940 of the Official Public Records of Collin County, Texas;

THENCE North 86 degrees 55 minutes 40 seconds West, with said Beaver Creek Road and the north line of said Brown tract, a distance of 119.52 feet to a ½ inch iron rod with a yellow cap stamped "ASC" set for corner;

THENCE North 89 degrees 45 minutes 35 seconds West, a distance of 267.76 feet to a ½ inch iron rod with a yellow cap stamped "ASC" set for corner;

THENCE North 00 degrees 15 minutes 20 seconds East, a distance of 205.32 feet to a ½ inch iron rod with a yellow cap stamped "ASC" set for corner;

THENCE South 89 degrees 44 minutes 40 seconds East, a distance of 23.21 feet to a ½ inch iron rod with a yellow cap stamped "ASC" set for corner, being at the beginning of a non-tangent curve to the left having a radius of 877.50 feet, a delta angle of 20 degrees 13 minutes 36 seconds, whose chord bears North 17 degrees 42 minutes 28 seconds West, a distance of 308.17 feet;

THENCE continuing with said curve, an arc length of 309.78 feet to a ½ inch iron rod with a yellow cap stamped "ASC" set for corner, being at the beginning of a reverse curve to the right having a radius of 1522.50 feet, a delta angle of 09 degrees 49 minutes 00 seconds, whose chord bears North 22 degrees 54 minutes 46 seconds West, a distance of 260.53 feet;

THENCE continuing with said curve, an arc length of 260.85 feet to a ½ inch iron rod with a yellow cap stamped "ASC" set for corner;

THENCE South 71 degrees 59 minutes 44 seconds West, a distance of 170.00 feet to a ½ inch iron rod with a yellow cap stamped "ASC" set for corner, being at the beginning of a non-tangent curve to the left having a radius of 1692.50 feet, a delta angle of 00 degrees 12 minutes 27 seconds, whose chord bears South 18 degrees 06 minutes 30 seconds East, a distance of 6.13 feet;

THENCE continuing with said curve, an arc length of 6.13 feet to a ½ inch iron rod with a yellow cap stamped "ASC" set for corner;

THENCE South 71 degrees 47 minutes 17 seconds West, a distance of 290.06 feet to a ½ inch iron rod with a yellow cap stamped "ASC" set for corner;

THENCE North 72 degrees 18 minutes 55 seconds West, a distance of 518.39 feet to a ½ inch iron rod with a yellow cap stamped "ASC" set for corner;

THENCE North 29 degrees 31 minutes 10 seconds West, a distance of 30.39 feet to a ½ inch iron rod with a yellow cap stamped "ASC" set for corner;

THENCE North 43 degrees 01 minutes 25 seconds West, a distance of 270.12 feet to a ½ inch iron rod with a yellow cap stamped "ASC" set for corner;

THENCE North 63 degrees 00 minutes 57 seconds West, a distance of 107.81 feet to a ½ inch iron rod with a yellow cap stamped "ASC" set for corner;

THENCE North 62 degrees 39 minutes 01 seconds West, a distance of 17.79 feet to a ½ inch iron rod with a yellow cap stamped "ASC" set for corner;

THENCE North 59 degrees 54 minutes 38 seconds West, a distance of 87.93 feet to a ½ inch iron rod with a yellow cap stamped "ASC" set for corner;

THENCE North 10 degrees 23 minutes 45 seconds West, a distance of 165.25 feet to a ½ inch iron rod with a yellow cap stamped "ASC" set for corner, being at the beginning of a non-tangent curve to the right having a radius of 472.50 feet, a delta angle of 29 degrees 51 minutes 35 seconds, whose chord bears North 50 degrees 58 minutes 17 seconds West, a distance of 243.47 feet;

THENCE continuing with said curve, an arc length of 246.24 feet to a ½ inch iron rod with a yellow cap stamped "ASC" set for corner;

THENCE North 36 degrees 02 minutes 30 seconds West, a distance of 145.74 feet to the **POINT OF BEGINNING**, and containing 69.071 acres of land, more or less, and being subject to any and all easements that may affect.

NOW, therefore, know all men by these presents:

THAT DEVELOPMENT SOLUTIONS BZ, LLC, acting herein by and through it's duly authorized officers, do hereby adopt this plat designating the hereinabove described, property as Bozman Farm Estates, Phase 5, an addition to the City of Wylie, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets and alleys shown thereon. The streets and alleys are dedicated for street purposes. The Easements and public use areas, as shown are dedicated, for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs or other improvements may be placed in Landscape Easements, if approved by the City of Wylie. In addition, Utility Easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the Public's and City of Wylie's use thereof. The City of Wylie and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said Easements. The City of Wylie and public utility entities shall at all times have the full right of Ingress and Egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring the permission of anyone.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Wylie, Texas.

WITNESS, my hand, this the ____ day of _____, 2015.

DEVELOPMENT SOLUTIONS BZ, LLC db/a/ **DS Bozman, LLC**

By: _____

State of §
County of §
BEFORE me, the undersigned authority, a Notary Public in and for the State of _____, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

GIVEN under my hand and seal of office this the ____ day of _____, 2015.

Notary Public in and for the State of _____

State of Texas §
County of Denton §
SURVEYOR'S CERTIFICATE:

KNOW ALL MEN BY THESE PRESENTS:

That I, Douglas L. Arthur, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision in accordance with the Subdivision Ordinance of the City of Wylie.

PRELIMINARY
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT DATED 7/7/2015

Douglas L. Arthur, R.P.L.S.
No. 4357

State of Texas §
County of Denton §
BEFORE me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Douglas L. Arthur, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

GIVEN under my hand and seal of office this the ____ day of _____, 2015.

Notary Public in and for the State of Texas

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S49°42'24"E	14.28
L2	S04°17'48"E	50.00
L3	S41°44'28"W	14.23
L4	N11°32'04"E	43.39
L5	N28°53'14"E	14.81
L6	N88°41'06"E	30.68
L7	N03°41'29"E	58.66
L8	S30°11'41"E	13.25
L9	N88°33'47"E	68.53
L10	N71°47'17"E	67.64
L11	S01°16'22"W	32.28
L12	N73°22'54"E	34.45
L13	S82°28'25"W	21.90
L14	S00°15'20"W	31.26
L15	N63°24'41"W	41.55
L16	N61°56'27"W	28.06
L17	N79°39'43"W	25.91
L18	S76°05'54"E	24.11
L19	S57°45'06"W	35.03
L20	N68°46'04"E	25.33
L21	N18°28'39"E	14.05
L22	N89°27'43"E	49.86
L23	S33°38'23"E	15.00
L24	N80°47'33"W	14.20
L25	N11°44'51"E	13.89
L26	S89°07'42"W	14.14
L27	N33°37'56"W	14.14
L28	S69°04'43"W	13.58
L29	S71°39'20"W	15.00
L30	N14°22'18"W	15.80
L31	N78°39'16"W	14.35
L32	N05°44'33"E	12.31
L33	S88°07'42"W	12.22
L34	N83°05'40"W	15.51
L35	S07°01'09"W	13.45
L36	N32°45'25"E	15.52
L37	N50°33'05"E	13.68
L38	N16°57'29"W	12.29
L39	N46°20'12"W	14.53
L40	S42°11'12"W	13.36
L41	N44°48'37"W	14.16
L42	S45°10'37"W	14.12
L43	N52°33'54"W	14.47
L44	S38°19'39"W	15.96
L45	N61°15'50"W	13.65
L46	S29°45'16"W	14.86
L47	S38°58'17"W	14.08
L48	S46°13'52"E	14.27
L49	S43°39'48"W	13.94
L50	N44°24'51"W	13.94
L51	N46°04'51"W	14.36
L52	S45°39'46"W	14.36
L53	S60°26'35"W	13.88
L54	N44°45'03"W	14.07
L55	S45°18'42"W	14.39
L56	N39°22'26"W	14.13
L57	S44°57'41"W	14.14
L58	S51°55'00"W	14.44
L59	N52°41'34"W	16.83
L60	S63°28'37"W	14.14
L61	S48°31'21"E	14.14
L62	S63°28'39"W	14.14
L63	N17°28'49"W	14.19
L64	S73°33'41"W	14.32
L65	N26°31'21"W	14.14
L66	S56°32'47"W	14.16
L67	N28°35'17"W	14.01
L68	S88°24'51"W	13.83
L69	N30°17'14"W	13.42
L70	S88°37'21"W	18.81
L71	N28°01'14"W	14.51
L72	N22°26'47"E	15.97
L73	S51°16'18"E	21.70
L74	N82°44'11"W	20.26
L75	S53°57'30"W	35.19
L76	N32°4'54"W	20.21
L77	N32°4'54"W	21.06
L78	N02°50'15"W	48.16
L79	N26°04'51"E	10.45
L80	N19°00'07"W	13.28
L81	S74°00'53"W	15.36

CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	CHORD
C1	43.63	135.00	1630.56	S8°46'49"E 43.44'
C2	58.50	610.00	0939.99	S02°42'42"W 58.53'
C3	53.86	1232.50	0230'14"	S01°28'05"E 53.86'
C4	6.13	1692.50	0071'22"	S18°06'30"E 6.13'
C5	69.48	1057.50	0345'51"	N84°42'43"W 69.48'
C6	125.09	440.00	1617'21"	N68°24'07"W 124.67'
C7	131.85	500.00	1506'30"	N79°20'32"E 131.46'
C8	36.76	280.00	1136.56	S04°32'05"E 36.67'
C9	40.28	280.00	0814'33"	S79°30'12"W 40.28'
C10	36.84	280.00	0732'15"	N86°14'33"E 36.81'
C11	47.79	280.00	0946'43"	N04°38'02"W 47.73'
C12	46.84	280.00	0935'04"	N89°47'47"E 46.78'
C13	49.27	280.00	1004'54"	N66°28'54"W 49.21'
C14	85.15	545.00	0857'07"	N14°00'05"E 85.06'
C15	37.33	280.00	0738'22"	N73°20'32"W 37.31'
C16	39.93	500.00	0434'33"	S73°48'38"E 39.92'
C17	53.83	280.00	1100'57"	S63°15'35"W 53.75'
C18	27.07	280.00	1546'15"	S10°35'32"W 26.83'
C19	90.48	280.00	1830'56"	S80°46'49"E 90.09'
C20	4.02	10.00	2303'21"	N46°13'26"E 4.00'
C21	13.22	10.00	7543'37"	N84°23'05"W 12.28'
C22	9.48	10.00	5418'53"	S59°42'20"W 9.13'
C23	8.48	10.00	5418'53"	S65°26'47"E 8.13'
C24	4.88	10.00	2758'16"	N14°32'19"W 4.83'
C25	4.87	10.00	2733'21"	S89°14'17"E 4.82'
C26	5.80	10.00	3312'12"	S77°59'03"W 5.72'
C27	6.23	10.00	3543'03"	N03°19'28"E 6.13'
C28	5.78	10.00	3306'31"	N61°13'07"E 5.70'
C29	7.35	10.00	4206'05"	S52°28'18"E 7.18'
C30	81.86	280.00	1645'05"	S20°43'36"W 81.57'
C31	9.48	10.00	5418'53"	N44°21'55"W 9.13'
C32	9.48	10.00	5418'53"	N81°19'12"E 9.13'
C33	51.30	1167.50	0231'03"	N01°29'29"W 51.30'
C34	18.54	280.00	0347'36"	S55°51'18"W 18.53'
C36	43.76	280.00	0857'20"	S13°59'59"W 43.72'
C37	81.73	280.00	1643'30"	N20°13'49"E 81.44'
C38	41.47	280.00	0823'06"	S67°04'21"E 41.43'
C39	122.67	1200.00	0551'25"	N03°05'40"W 122.61'
C40	37.71	860.00	0230'44"	S48°32'11"W 37.70'

RECOMMENDED FOR APPROVAL:

Chairman, Planning & Zoning Commission
City of Wylie, Texas

Date

APPROVED FOR CONSTRUCTION:

Mayor, City of Wylie, Texas

Date

ACCEPTED:

Mayor, City of Wylie, Texas

Date

The undersigned, the City Secretary of the City of Wylie, Texas, hereby certifies that the foregoing final plat of **Bozman Farm Estates, Phase 5** subdivision or addition to the City of Wylie, was submitted to the City Council on the ____ day of _____, 2015, and the Council, by formal action, then and there accepted the dedication of streets, alley, parks, easement, public places, and water and sewer lines as shown and set forth in and upon said plat and said Council further authorized the Mayor to note the acceptance thereof by signing his name as hereinabove subscribed.

Witness my hand this ____ day of _____, A.D. 2015.

City Secretary
City of Wylie, Texas

FINAL PLAT
BOZMAN FARM ESTATES
PHASE 5

being 69.071 acres out of the
John G. Jonett Survey, Abst. No. 475 and the
Aaron West Survey, Abst. No. 979
City of Wylie, Collin County, Texas
- 2015 -



(972) 221-9439 Fax: (972) 221-4675
220 Elm Street, Suite 200 ~ P.O. Box 54
Lewisville, Texas 75067 ~ TRF# NO: 1006800
Established ~ 1986
www.arthursurveying.com

SHEET

2/2

OWNER / DEVELOPER

Development Solutions BZ, LLC
12400 Coit Road, Suite 850
Dallas, TX 75251

Phone: (972) 404-8500
Contact: Stephen Davis



Ridinger
Associates, Inc.
Civil Engineers - Planners

Firm No. 1969
550 S. Edmonds Lane, Suite 101
Lewisville, Texas 75067

Tel. No. (972) 353-8000
Fax No. (97



Wylie City Council

AGENDA REPORT

Meeting Date: August 11, 2015
Department: Planning
Prepared By: Renaë Ollie
Date Prepared: August 4, 2015

Item Number: F
(City Secretary's Use Only)
Account Code: _____
Budgeted Amount: _____
Exhibits: 1

Subject

Consider, and act upon an approval of a Preliminary Plat for Platinum Storage Country Club Subdivision (PD 2015-07), creating two commercial lots on 11.0216 acres, generally located on the east side of Country Club and approximately 600' north of Brown Street.

Recommendation

Motion to approve a Preliminary Plat for Platinum Storage Country Club Subdivision (PD 2015-07), creating two commercial lots on 11.0216 acres, generally located on the east side of Country Club and approximately 600' north of Brown Street.

Discussion

Owner: Ron Valk

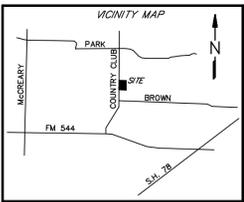
Applicant: Anna Lyse, Platinum Storage

The property totals 11.0216 acres and will create two commercial lots. The subject property is all of a Planned Development (PD 2015-17), which consists of a self-storage use fronted by a retail use along Country Club Road. The property was the subject of a Zoning Case approved by City Council in early 2015.

As approved on the Concept Plan, Lot 1 will consist of retail type of uses. Lot 2 will be self-storage with boat and RV storage. The northwest corner of lot 2 will be used for a manager's office and a self-storage building architecturally compatible with the retail on Lot 1.

As shown on the plat, there are large landscape areas along the south and east property lines.

The Commission voted 6-0 to recommend approval of the request.



OWNERS CERTIFICATE

STATE OF TEXAS:
COUNTY OF COLLIN:

WHEREAS Ron Valk, is the owner of that same tract land situated in the Charles Atterbury Survey, Abstract No. 22, City of Wylie, Collin County, Texas, and being all of that same tract of land described in deed to Ron Valk, recorded in Instrument Number 20150520000590020 of the Deed Records of Collin County, Texas, and said tract of land being more particularly described as follows:

BEGINNING at a 1/2 iron rod found at the northeast corner of Lot 4, Block A of Zlan Corner Addition, an addition to the City of Wylie, Texas, recorded in Cabinet R, Slide 16 of the Plat Records of Collin County, Texas, and said point being in the west line of that same tract of land described in deed to Birmingham Land, Ltd, recorded in Instrument Number 94-0029675 of the Deed Records of Collin County, Texas;

THENCE S 89°38'09" W, 775.29' along the north line of said Lot 4 to a cross found for corner in the east line of Country Club Road (F.M. 1378 - a variable width R.O.W.);

THENCE N 01°00'21" W, 386.06' along the east line of Country Club Road to a 3" aluminum disk found for corner;

THENCE S 89°18'36" W, 14.94' along the east line of Country Club Road to a 3/4" iron rod found for corner;

THENCE N 00°41'23" W, 75.80' along the east line of Country Club Road to a cross found for corner at the beginning of a curve to the right having a central angle of 02°58'57" and a radius of 2,937.86';

THENCE around said curve and along the east line of Country Club Road, a distance of 152.92' to a cross found at the southwest corner of that same tract of land described in deed to Gary L. Cox, recorded in Instrument Number 20080401000381330 of the Deed Records of Collin County, Texas;

THENCE N 89°43'01" E, 788.12' along the south line of said Cox property to a 1/2" iron rod found for corner in the west line of the aforementioned Birmingham Land, Ltd property;

THENCE S 00°42'54" E, 613.52' along the west line of said Birmingham Land, Ltd property to the Point of Beginning and containing 480,100.60 square feet or 11.0216 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That RON VALK, acting herein by and through the duly authorized officer, does hereby adopt this plat designating the herein above described property as PLATINUM STORAGE COUNTRY CLUB ADDITION, an addition to the City of Wylie, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets, rights-of-way, and other public improvements shown thereon. The streets and alleys, if any, are dedicated for street purposes. The easements and public use areas, as shown, are dedicated, for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the City Council of the City of Wylie. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Wylie's use thereof.

The City of Wylie and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Wylie and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Wylie, Texas.

WITNESS, my hand, this the ___ day of _____, 2015.

RON VALK, Owner

STATE OF TEXAS:
COUNTY OF COLLIN:

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Ron Valk, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN under my hand and seal of office, this the _____ day of _____, 2015.

Notary Public in and for the State of Texas

PRELIMINARY PLAT

PLATINUM STORAGE
COUNTRY CLUB ADDITION

2 LOTS

11.0216 ACRES OF LAND SITUATED THE C. ATTERBURY SURVEY,
ABSTRACT NO. 22,
CITY OF WYLIE, COLLIN COUNTY, TEXAS.

ENGINEER

OWNER

PAUL CRAGUN
CUMULUS DESIGN
PAUL@CUMULUSDESIGN.NET
PH. 214-235-0367

RON VALK
1834 S. FM 551
FATE, TEXAS 75189
PH. 469-222-1597

DAVIS LAND SURVEYING CO., INC.
9777 FERUGSON ROAD, SUITE 105
DALLAS, TEXAS 75228

DATE: 7/1/2015
JOB NO. 14141

REVISED PLAT 7/27/15
ORIGINALLY SURVEYED 11/22/2014

LINE	LENGTH	BEARING
L1	303.49'	S89°43'01"W
L2	31.67'	N00°16'59"W
L3	68.99'	S89°43'01"W
L4	24.00'	N00°16'59"W
L5	453.58'	S89°43'01"W
L6	436.62'	N00°16'59"W
L7	405.17'	S89°38'09"W
L8	125.87'	S88°59'39"W
L9	0.27'	N00°21'51"W
L10	305.12'	N01°00'21"W
L11	81.15'	S89°43'01"W
L12	31.01'	N00°41'23"W
L13	47.50'	S89°43'01"W
L14	303.00'	N01°00'21"W
L15	47.50'	S88°59'39"W
L16	303.60'	N01°00'21"W
L17	6.60'	S89°43'01"W
L18	291.46'	N00°16'59"W
L19	2.93'	S89°38'09"W
L20	291.49'	N01°00'21"W
L21	95.19'	S89°38'09"W
L22	159.67'	N00°16'59"W
L23	95.19'	S89°43'01"W
L24	159.53'	N00°16'59"W
L25	159.41'	N00°16'59"W
L26	97.41'	S89°43'01"W
L27	159.28'	N00°16'59"W
L28	97.41'	S89°38'09"W
L29	276.60'	S89°43'01"W
L30	47.67'	N00°16'59"W
L31	276.60'	S89°43'01"W
L32	47.67'	N00°16'59"W
L33	276.60'	S89°43'01"W
L34	37.67'	N00°16'59"W
L35	276.60'	S89°43'01"W
L36	37.67'	N00°16'59"W
L37	19.63'	S89°38'09"W
L38	100.79'	S89°38'09"W
L39	162.77'	S89°38'09"W
L40	102.44'	N00°16'59"W
L41	137.01'	N01°00'21"W
L42	134.62'	N01°00'21"W
L43	91.96'	S89°43'01"W
L44	38.93'	S89°43'01"W
L45	28.81'	S89°43'01"W
L46	11.87'	S00°16'59"E
L47	10.00'	S89°43'01"W
L48	11.87'	S00°16'59"E
L49	14.84'	S00°16'59"E
L50	15.00'	S89°43'01"W
L51	14.84'	S00°16'59"E
L52	10.68'	S00°16'59"E
L53	30.00'	S89°43'01"W
L54	10.68'	S00°16'59"E
L55	49.44'	N00°16'59"W
L56	16.40'	S89°43'01"W
L57	15.00'	N00°16'59"W
L58	31.40'	S89°43'01"W
L59	46.98'	N00°16'59"W
L60	32.94'	S00°16'59"E
L61	15.00'	S89°43'01"W
L62	52.67'	S00°16'59"E
L63	118.37'	S89°43'01"W
L64	131.81'	S89°43'01"W
L65	10.00'	S00°16'59"E
L66	23.53'	S89°43'01"W
L67	15.00'	N00°16'59"W
L68	23.53'	S89°43'01"W
L69	16.00'	N00°21'51"W
L70	15.00'	S89°38'09"W
L71	16.00'	N00°21'51"W
L72	13.75'	N01°00'21"W
L73	15.00'	S88°59'39"W
L74	13.75'	N01°00'21"W
L75	53.69'	S88°59'39"W
L76	15.00'	N01°00'21"W
L77	53.69'	S88°59'39"W
L78	44.21'	N88°59'39"E
L79	20.00'	N01°00'21"W
L80	44.21'	N88°59'39"E

CURVE	LENGTH	RADIUS	DELTA
C1	47.12'	30.00'	90°00'00"
C2	47.12'	30.00'	90°00'00"
C37	19.44'	30.00'	37°07'59"
C3	47.12'	30.00'	90°00'00"
C4	47.12'	30.00'	90°00'00"
C5	47.12'	30.00'	90°00'00"
C6	47.12'	30.00'	90°00'00"
C7	47.12'	30.00'	90°00'00"
C8	47.12'	30.00'	90°00'00"
C9	47.12'	30.00'	90°00'00"
C10	47.12'	30.00'	90°00'00"
C11	47.12'	30.00'	90°00'00"
C12	47.08'	30.00'	89°55'08"
C13	47.17'	30.00'	90°04'52"
C14	47.12'	30.00'	90°00'00"
C15	47.12'	30.00'	90°00'00"
C16	47.08'	30.00'	89°55'08"
C17	47.17'	30.00'	90°04'52"
C18	47.12'	30.00'	90°00'00"
C19	47.08'	30.00'	89°55'08"
C20	46.79'	30.00'	89°21'30"
C21	47.50'	30.00'	90°43'22"
C22	47.12'	30.00'	90°00'00"
C23	46.75'	30.00'	89°16'38"
C24	47.12'	30.00'	90°00'00"
C25	47.12'	30.00'	90°00'00"
C26	47.50'	30.00'	90°43'22"
C27	46.75'	30.00'	89°16'38"
C28	45.06'	30.00'	86°03'50"
C29	77.53'	52.00'	85°25'20"
C30	43.67'	28.00'	89°21'30"
C31	27.84'	54.00'	29°32'34"
C32	15.80'	30.00'	301°10'41"
C33	84.75'	54.00'	89°55'08"
C34	47.12'	30.00'	90°00'00"
C35	14.02'	30.00'	26°46'22"
C36	14.85'	30.00'	28°21'21"

"Recommended for Approval"

Chairman, Planning & Zoning Commission _____ Date _____
City of Wylie, Texas

"Approved for Construction"

Mayor, City of Wylie, Texas _____ Date _____

"Accepted"

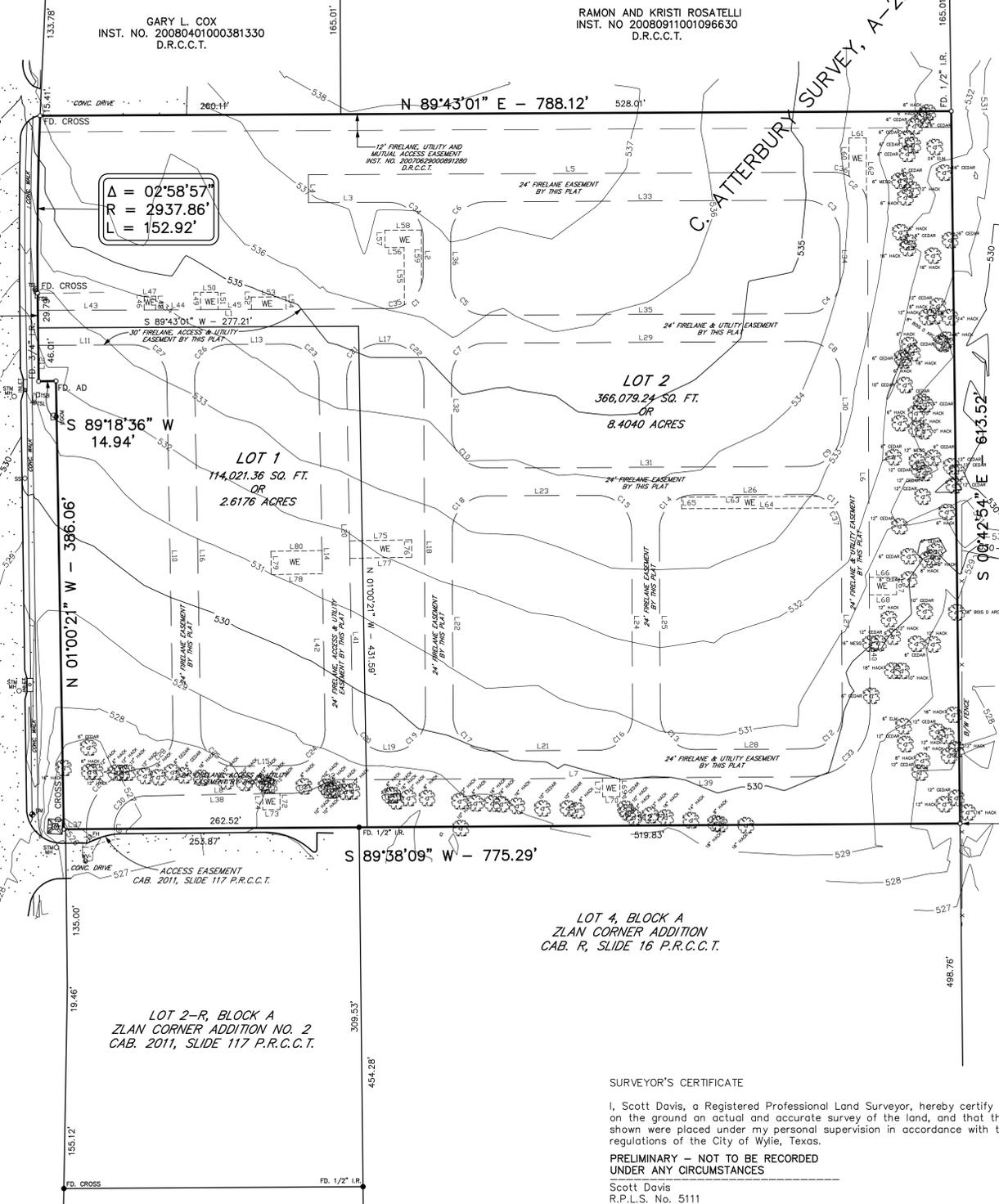
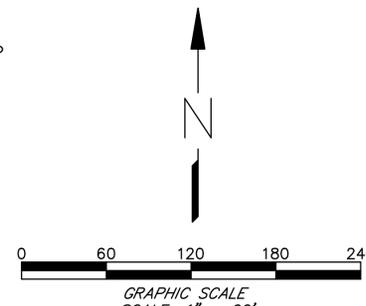
Mayor, City of Wylie, Texas _____ Date _____

The undersigned, the City Secretary of the City of Wylie, Texas, hereby certifies that the foregoing final plat of the DOLLAR TREE ADDITION, an addition to the City of Wylie was submitted to the City Council on the _____ day of _____, 2014 and the Council, by formal action, then and there accepted the dedication of streets, alleys, parks, easement, public places, and water and sewer lines as shown and set forth in and upon said plat and said Council further authorized the Mayor to note the acceptance thereof by signing his name as hereinabove subscribed.

Witness my hand this _____ day of _____, A.D., 2015.

City Secretary
City of Wylie, Texas

BIRMINGHAM LAND LTD.
INST. NO. 94-0029675
D.R.C.C.T.



SURVEYOR'S CERTIFICATE

I, Scott Davis, a Registered Professional Land Surveyor, hereby certify that I have performed on the ground an actual and accurate survey of the land, and that the corner monuments shown were placed under my personal supervision in accordance with the platting rules and regulations of the City of Wylie, Texas.

PRELIMINARY - NOT TO BE RECORDED UNDER ANY CIRCUMSTANCES

Scott Davis
R.P.L.S. No. 5111

STATE OF TEXAS:
COUNTY OF DALLAS:

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Scott Davis, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN under my hand and seal of office, this the _____ day of _____, 2014.

Notary Public in and for the State of Texas

NOTES:

SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY ORDINANCE AND STATE LAW AND IS SUBJECT TO FINES AND WITHDRAWING OF UTILITIES AND BUILDING PERMITS.

BEARINGS BASED ON STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983.

THE COORDINATES SHOWN ARE DERIVED FROM CITY OF WYLIE MONUMENT CM 3 WHICH IS TIED TO NAD-83 TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE.



Wylie City Council

AGENDA REPORT

Meeting Date:	<u>August 11, 2015</u>	Item Number:	<u>G</u> <i>(City Secretary's Use Only)</i>
Department:	<u>City Manager</u>	Account Code:	<u>100-5251-58910</u>
Prepared By:	<u>Purchasing</u>	Budgeted Amount:	<u>\$58,900</u>
Date Prepared:	<u>August 4, 2015</u>	Exhibits:	<u>Bid Tabulation</u>

Subject

Consider and act upon the award of bid # W2015-42-B for the Animal Shelter Facility Interior Remodel Project; to The Gilbert Construction Group, Inc. in the amount of \$45,820.00 and authorizing the City Manager to execute any and all necessary documents.

Recommendation

A motion authorizing the award of bid # W2015-42-B for the Animal Shelter Facility Interior Remodel Project; to The Gilbert Construction Group, Inc. in the amount of \$45,820.00 and authorizing the City Manager to execute any and all necessary documents.

Discussion

Competitive sealed bids were solicited for the interior remodel of the Wylie Animal Shelter Facility as described in bid #W2015-42-B and to be awarded to the lowest responsive, responsible bidder. A public notification was placed in The Wylie News and on the Purchasing Department's public web page, and local agents were notified of the bid opportunity. The City received four (4) bids. The evaluation process began with the lowest responsible bid submitted by Gilbert Construction and staff reviewed the vendor's pricing, client work/project history, and overall company information.

Staff recommends the award of bid # W2015-42-B for the Animal Shelter Facility Interior Remodel Project; to The Gilbert Construction Group, Inc. in the amount of \$45,820.00 as the lowest responsive, responsible bid.



BID TABULATION
W2015-42-B
WYLIE ANIMAL SHELTER INTERIOR REMODEL
July 9, 2015 prior to 3:00 pm CDT
Corrected: July 15, 2015

The City received proposals from the following:

Clayton Contracting Inc.	\$46,867.91 *Corrected 7/7/15/15
Concord Commercial Services Inc.	\$49,670.00
Gilbert Construction Group Inc.	\$45,820.00
J. Nichols Construction	\$49,600.00

I certify that the above includes all firms submitting offers and that replies are exactly as stated.

Glenna Hayes

Glenna Hayes C.P.M., A.P.P. Purchasing Agent

July 15, 2015

Date

“BID TABULATION STATEMENT”

ALL BIDS SUBMITTED FOR THE DESIGNATED PROJECT ARE REFLECTED ON THIS BID TAB SHEET. **HOWEVER, THE LISTING OF A BID ON THIS SHEET SHOULD NOT BE CONSTRUED AS A COMMENT ON THE RESPONSIVENESS OF SUCH BID OR AS ANY INDICATION THAT THE CITY ACCEPTS SUCH BID AS RESPONSIVE.** THE CITY WILL MAKE A DETERMINATION AS TO THE RESPONSIVENESS OF BIDS SUBMITTED BASED UPON COMPLIANCE WITH ALL APPLICABLE LAWS, CITY OF WYLIE BID SPECIFICATIONS AND PROJECT DOCUMENTS, INCLUDING BUT NOT LIMITED TO THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS. THE CITY WILL NOTIFY THE SUCCESSFUL BIDDER UPON AWARD OF THE CONTRACT AND, ACCORDING TO LAW, ALL BIDS RECEIVED WILL BE AVAILABLE FOR INSPECTION AT THAT TIME.

PURCHASING DEPARTMENT
CITY OF WYLIE, TEXAS



Wylie City Council

AGENDA REPORT

Meeting Date: August 11, 2015
Department: Engineering
Prepared By: Engineering
Date Prepared: August 3, 2015

Item Number: H
(City Secretary's Use Only)
Account Code: N/A
Budgeted Amount: N/A
Exhibits: Resolution

Subject

Consider and act upon, Resolution 2015-16(R) authorizing the City Manager to execute an easement for right-of-way for a water transmission pipeline for the North Texas Municipal Water District

Recommendation

Motion to approve Resolution 2015-16(R) authorizing the City Manager to execute an easement for right-of-way for a water transmission pipeline for the North Texas Municipal Water District

Discussion

The North Texas Municipal Water District is acquiring right of way necessary to complete the needed improvements to the existing Wylie-Rockwall-Farmersville 36/48-Inch pipeline. The pipeline provides service to the Wylie East Brown Pump Station, the East Fork Special Utility District pump station, as well as other delivery points in their east system.

Three easements are needed across City of Wylie owned property. The easements are located on the property west of the Brown Street pump station, along the front of Fire Station #3, and along the property between Springdale Way and S. Kreymer Lane.

The NTMWD currently owns an easement along these properties; however, additional width is needed to allow the installation of the new transmission line. Staff has worked with NTMWD to minimize any conflicts during construction but some periodic lane closures will be needed on Brown Street and intersecting streets. The access to Station #3 will be maintained throughout the construction process. Staff recommends dedication of the easement to the NTMWD.

RESOLUTION NO. 2015-16(R)

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS, HEREBY AUTHORIZING THE CITY MANAGER OF THE CITY OF WYLIE, TEXAS, TO EXECUTE AN EASEMENT FOR RIGHT-OF-WAY FOR A WATER TRANSMISSION PIPELINE FOR THE NORTH TEXAS MUNICIPAL WATER DISTRICT.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS:

SECTION 1: The City Manager of the City of WYLIE, Texas, is hereby authorized to execute, on behalf of the City Council of the City of WYLIE, Texas, the easement for right-of-way for a water transmission pipeline for the North Texas Municipal Water District,

SECTION 2: This Resolution shall take effect immediately upon its passage.

RESOLVED THIS THE 11th day of August, 2015.

ERIC HOGUE, Mayor

ATTEST TO:

CAROLE EHRLICH, City Secretary

EXHIBIT “A”

Easement

Resolution No. 2015-16(R)
Execute an easement for right-of-way for a water transmission pipeline
for the North Texas Municipal Water District.



**NORTH TEXAS MUNICIPAL
WATER DISTRICT**

Regional Service Through Unity
June 18, 2015

Certified Mail/Return Receipt Requested
No. 7014 2870 0002 3597 2469 and U.S. Mail

City of Wylie
C/O Mr. Chris Holstead
300 Country Club Road, Building 100
Wylie, Texas 75098

RE: Wylie-Rockwall-Farmersville 36/48-Inch Pipeline Improvements, Phase I,
Project No. 337, Parcel Nos. 02, 05, & 07

Dear Mr. Holstead:

The North Texas Municipal Water District (NTMWD) is in the process of acquiring right-of-way necessary to complete needed improvements to the existing Wylie-Rockwall-Farmersville (WRF) 36/48-Inch pipeline. This pipeline provides service to the Wylie 1A and East Fork Special Utility District (SUD) delivery points and to other delivery points in the East System. The project is proposed to be constructed in two phases and scheduled for overall completion between 2016 and 2017.

In order for NTMWD to complete the project, three easements (3) will be needed across your property. The Easements consist of Parcel 02, being a 0.334 acre temporary construction easement and a 0.211 acre permanent easement, Parcel 05, being a 0.108 acre temporary construction easement and a 0.111 acre permanent easement and Parcel 07, being a 0.186 acre temporary construction easement and a 0.309 acre permanent easement. NTMWD offers to purchase the Easements for the total amount of \$11,978.00. Enclosed is an Easement including the description and survey of the Easement area. Also enclosed, is a Landowner Bill of Rights and W-9. If you are willing to grant the Easement for this compensation, please complete the W-9 and return to this office along with the executed Easement. You will then be provided with a check for the Easements within 10 days of receipt of the W-9 and executed Easement. If the above offer is acceptable, please advise me at your earliest convenience, but no later than July 20, 2015.

Should you have any questions in regards to this offer or the Easement, please contact Douglas Lovern, NTMWD Land Agent, at 972-442-5405. Your assistance concerning this matter is greatly appreciated

Sincerely,

CESAR BAPTISTA
Assistant Deputy Director

Enclosures

**EASEMENT FOR RIGHT-OF-WAY
WATER TRANSMISSION PIPELINE
NORTH TEXAS MUNICIPAL WATER DISTRICT
WYLIE-ROCKWALL-FARMERSVILLE 36/48-INCH
PIPELINE IMPROVEMENTS, PHASE 1
PROJECT NO. 337**

STATE OF TEXAS § KNOWN ALL MEN BY THESE PRESENTS:
 §
COUNTY OF COLLIN §

THAT the undersigned, **CITY OF WYLIE**, (hereinafter called "Grantor") for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) cash in hand paid by the **NORTH TEXAS MUNICIPAL WATER DISTRICT** (hereinafter called "Grantee") the receipt of which is hereby acknowledged and confessed, has granted, sold and conveyed, and by these presents, does grant, sell and convey unto the Grantee a Permanent Easement and right-of-way, along with a Temporary Construction Easement, in and through those certain premises owned by Grantor to construct, operate, reconstruct, perpetually maintain and remove one pipeline, for the transportation of water, with all incidental equipment, and appurtenances under or through the following described lands situated in Collin County, Texas, to-wit:

Parcel No. 02

Being a permanent waterline easement situated in the Francisco De La Pina Survey, Abstract No. 688, City of Wylie, Collin County, Texas and being a portion of Lot 2A, Block A of Oncor Lavon Switching Station Lot 2A and 2B Block A, an addition to the City of Wylie, Collin County, Texas as recorded in County Clerk's File No. 201207170001750 of the Plat Records of Collin County, Texas, said Block A being dedicated to the City of Wylie by the plat of Oncor Lavon Switching Station Block A, Lots 1 & 2 as recorded in County Clerk's File No. 20081114010003980 of said Plat Records of Collin County, Texas, said permanent waterline easement being more particularly described by metes and bounds as:

Parcel No. 05

Being a permanent waterline easement situated in the Francisco De La Pina Survey, Abstract No. 688, City of Wylie, Collin County, Texas and being a portion of Lot 1, Block A of Eastridge Addition, an addition to the City of Wylie, Collin County, Texas as recorded in Cabinet F, Slide 715 of the Plat Records of Collin County, Texas, said Lot 1 being deeded to the City of Wylie as recorded in Volume 5944, Page 2461 of the Deed Records of Collin County, Texas, said permanent waterline easement being more particularly described by metes and bounds:

Parcel No. 07

Being a permanent waterline easement situated in the Francisco De La Pina Survey, Abstract No. 688, City of Wylie, Collin County, Texas and being a portion of Lot 11, Block A of Avalon Addition Phase I, an addition to the City of Wylie, Collin County, Texas as recorded in Cabinet P, Slide 688 of the Plat Records of Collin County, Texas, said Lot 11 being deeded to City of Wylie as recorded in Volume 5722, Page 4872 of the Official Public Records of Collin County, Texas, said permanent waterline easement being more particularly described by metes and bounds as follows:

SEE ATTACHED EXHIBIT "A" FOR DESCRIPTION

The Grantee shall utilize the easement for underground pipelines and appurtenances,

including communication facilities, and above grade appurtenances consisting of air valves, blow off valves, pipeline markers and cathodic protection equipment (referred to herein collectively as "Grantees Pipeline" or the pipeline) as may be required for its operation of the pipeline. The blow off valves shall be located so as to discharge any water from the pipeline into natural drainage areas currently existing on the Property.

The Temporary Construction Easement granted and described herein will terminate and cease upon completion of the construction and testing of the pipeline. Said Temporary Construction Easement is described in Exhibit "A".

Grantee, and Grantee's successors and assigns, shall have the continued and unobstructed right of ingress and egress over the permanent easement granted for the installation, operation, inspection, and maintenance of Grantee's facilities.

Grantee, and Grantee's successors and assigns, agrees to bury said pipeline to a depth of at least 48" from the top of the pipeline to existing ground surface. Grantee will, insofar as practicable, restore the ground disturbed by the laying, constructing, repairing, maintaining, replacing or removing of said pipeline, and will take such steps as may be reasonably required to prevent damage to the property of Grantor from soil erosion resulting from operations of Grantee hereunder. Grantee will separate the topsoil during construction by double-ditching and will restore said topsoil within the easement. Grantee shall leave the surface as nearly as reasonably possible as it was prior to the construction of the pipeline and will restore all improvements, including fences, driveways, bridges, drainage channels, and other improvements damaged through the use of said easement to substantially the same condition as they were prior to the construction of the pipeline. Grantee agrees to re-seed the easement areas after construction of said pipeline.

Grantee has the right to trim or cut down or eliminate trees or shrubbery to the extent, in the reasonable judgment of Grantee, its successors and assigns, as may be necessary to prevent possible interference with the installation and operation of said pipeline and to remove possible hazards thereto, and the right to remove or prevent the construction of any and all improvements, buildings, reservoirs or other obstructions on said permanent easement, except as are specifically allowed under the terms hereof. Grantor shall not construct or permit to be constructed, any house, building, reservoir, or other prohibited improvement on or within the permanent easement or remove soil which would impair the lateral support for Grantee's pipeline or leave it with insufficient cover for the safe operation of said pipeline. However, Grantor retains the right, to cross the permanent easement area with fences, streets, roads, and utilities ("facilities") at angles not less than 45 degrees provided that said facilities do not endanger or interfere with Grantee's pipeline and provided that Grantee is provided with a copy of the construction plans and drawings not less than 30 days before the beginning of construction of said facilities. Grantor shall not grant any other easements within the permanent easement which would (1) endanger or interfere with the safe and efficient operation of Grantee's pipeline, or (2) cross Grantee's easement at less than a 45 degree angle. Grantee may not fence or enclose the easement but may install gates in any fence along or crossing the easement for access.

If Grantee should abandon the rights granted herein for said pipeline and appurtenances constructed upon said land and, if such abandonment should continue for a continuous period of as long as thirty-six (36) months, all rights of Grantee herein shall terminate and revert to Grantor, their heirs, legal representatives, successors and assigns. Grantee shall have the right for

one year following any termination of this easement to remove its pipe, valves and all other property. Following the expiration of such period, any such property remaining on said land shall be and become the property of Grantor.

Grantee shall have the right to assign the easement in whole or in part to one or more assignees. Grantee, shall indemnify, defend, assume all liability for, and hold harmless the Grantor, its successors and assigns, from all actions, claims, suits, penalties, obligations, liabilities, and/or injuries and/or death to persons that may be caused by Grantee's activities pursuant to this Easement, or arising out of or in connection with such activities. Nothing in this indemnity provision shall be read to extend indemnification to Grantor for Grantor's own negligence, gross negligence, or intentional tortuous acts in the performance of this Easement.

The above described easements and rights shall inure unto the said Grantee, and Grantee's successors and assigns, and the covenants and agreements contained herein shall constitute covenants running with the land, binding upon Grantor, its legal representatives, successors and assigns, for the benefit of Grantee, and Grantee's successors and assigns.

By executing this Easement, the undersigned represents that they are duly authorized to execute this document; that Grantor is the owner of fee simple title to the property across which the easement is being granted; that the property is held by Grantor free and clear of any liens or encumbrances and that Grantor is the sole party entitled to receive the consideration being paid for the easement.

TO HAVE AND TO HOLD unto the said **NORTH TEXAS MUNICIPAL WATER DISTRICT**, its successors and assigns, the above described easement and right-of-way, and I do hereby bind myself, any heirs, executors, and administrators to warrant and forever defend all and singular the said premises to the **NORTH TEXAS MUNICIPAL WATER DISTRICT**, its successors and assigns, against every person whomsoever lawfully claiming or to claim the same or any part thereof herein.

WITNESS OUR HANDS this _____ day of _____, 2015.

GRANTOR:

CITY OF WYLIE

Signature

Printed Name

Title

ACKNOWLEDGMENT

THE STATE OF TEXAS §
 §
COUNTY OF _____ §

Before me, the undersigned authority, on this day personally appeared _____, in his/her capacity as _____ for _____ known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ____ day of _____, 2015.

Notary Public in and for
The State of Texas

My commission expires: _____

EXHIBIT "A"
NORTH TEXAS MUNICIPAL WATER DISTRICT
WYLIE-ROCKWALL-FARMERSVILLE 36/48-INCH PIPELINE IMPROVEMENTS, PHASE 1
PROJECT NO. 337

PARCEL NO. 2
OWNER: CITY OF WYLIE
PERMANENT WATERLINE EASEMENT
FRANCISCO DE LA PINA SURVEY, ABSTRACT NO. 688
COLLIN COUNTY, TEXAS

Being a permanent waterline easement situated in the Francisco De La Pina Survey, Abstract No. 688, City of Wylie, Collin County, Texas and being a portion of Lot 2A, Block A of Oncor Lavon Switching Station Lot 2A and 2B Block A, an addition to the City of Wylie, Collin County, Texas as recorded in County Clerk's File No. 201207170001750 of the Plat Records of Collin County, Texas, said Block A being dedicated to the City of Wylie by the plat of Oncor Lavon Switching Station Block A, Lots 1 & 2 as recorded in County Clerk's File No. 20081114010003980 of said Plat Records of Collin County, Texas, said permanent waterline easement being more particularly described by metes and bounds as follows:

COMMENCING at a 1/2 inch iron rod found for an angle point in the north line of said Lot 2A, said 1/2 inch iron rod being the southwest corner of Lot 1, Block A of said Oncor Lavon Switching Station Block A, Lots 1 & 2, from which a 1/2 inch iron rod with cap stamped "BH&C" found for the north corner of said Lot 2A bears North 38 degrees 21 minutes 44 seconds West, a distance of 899.99 feet, said 1/2 inch iron rod with cap stamped "BH&C" being the most westerly corner of said Lot 1; **THENCE** South 87 degrees 53 minutes 50 seconds East, with the north line of said Lot 2A and with the south line of said Lot 1, a distance of 731.50 feet to a point for the northeast corner of said Lot 2A, said point being the northwest corner of Lot 2B, Block A of said Oncor Lavon Switching Station Lot 2A and Lot 2B Block A; **THENCE** South 05 degrees 20 minutes 21 seconds West, with the east line of said Lot 2A and with the west line of said Lot 2B, a distance of 297.71 feet to the **POINT OF BEGINNING** of said permanent waterline easement, said point having a grid coordinate of N=7,058,651.84 and E=2,574,853.70;

THENCE South 05 degrees 20 minutes 21 seconds West, with the east line of said Lot 2A and with the west line of said Lot 2B, a distance of 8.07 feet to a point for corner in the north line of an existing North Texas Municipal Water District easement as dedicated by said Oncor Lavon Switching Station Lot 2A and Lot 2B Block A;

THENCE North 88 degrees 48 minutes 40 seconds West, with the north line of said existing North Texas Municipal Water District easement, a distance of 846.22 feet to a point for corner;

THENCE North 44 degrees 00 minutes 40 seconds West, a distance of 47.70 feet to a point for corner;

- THENCE** North 89 degrees 00 minutes 11 seconds West, a distance of 57.67 feet to a point for corner in the westerly line of said Lot 2A, said point being in the easterly line of a 23.125 acre tract of land (net acreage by deed) deeded to The Ladylike Shop, Inc. as recorded in Volume 1030, Page 416 of the Deed Records of Collin County, Texas, said point also being in the north right-of-way line of Brown Street (a variable width right-of-way);
- THENCE** North 24 degrees 10 minutes 19 seconds West, with the westerly line of said Lot 2A and with the easterly line of said 23.125 acre tract of land, a distance of 22.10 feet to a point for corner;
- THENCE** South 89 degrees 00 minutes 11 seconds East, a distance of 75.35 feet to a point for corner;
- THENCE** South 44 degrees 00 minutes 40 seconds East, a distance of 64.69 feet to a point for corner;
- THENCE** South 88 degrees 48 minutes 39 seconds East, a distance of 826.53 feet to the **POINT OF BEGINNING** and containing 9,189 square feet or 0.211 acres of land, more or less.

15.0' TEMPORARY CONSTRUCTION EASEMENT

The above described permanent waterline easement is also subject to a temporary construction easement being parallel and adjacent to said permanent waterline easement, located and shown on the accompanying survey plat, said 15.0' temporary construction easement contains 0.334 acres of land, more or less. The said 15.0' temporary construction easement shall expire as noted in the easement agreement.

NOTE: All horizontal coordinates are based on the Texas State Plane Coordinate System, North American Datum of 1983, NA2011 (Epoch 2010.00), North Central Zone (4202) and adjusted to surface values using the Texas Department of Transportation Surface Adjustment Factor for Collin County (1.000152710). Distances and areas shown are surface values.

* SURVEYOR'S CERTIFICATE *

TO ALL PARTIES INTERESTED IN TITLE TO THE PREMISES SURVEYED, I DO HEREBY STATE THAT THE ABOVE LEGAL DESCRIPTION WAS PREPARED FROM PUBLIC RECORDS AND FROM AN ACTUAL AND ACCURATE SURVEY UPON THE GROUND AND THAT SAME IS TRUE AND CORRECT.

Company Name: **Gorrondona & Associates, Inc.**

By: *Shaun Piepkorn*

Surveyor's Name: Shaun Marvin Piepkorn
Registered Professional Land Surveyor
Texas No. 6432
Texas Firm No. 10106900
Date of Survey: March 06, 2015



(Exhibit "A") Page 3 of 5

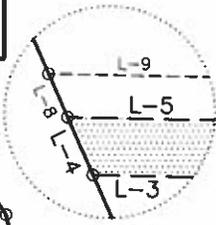
PLAT OF EXHIBIT "A"

LINE TABLE		
LINE	BEARING	DISTANCE
L-2	N 44°00'40"W	47.70'
L-3	N 89°00'11"W	57.67'
L-4	N 24°10'19"W	22.10'
L-5	S 89°00'11"E	75.35'
L-6	S 44°00'40"E	64.69'
L-8	N 24°10'19"W	16.57'
L-9	S 89°00'11"E	88.61'
L-10	S 44°00'40"E	64.72'

REMAINDER OF
69.982 ACRES (BY DEED)
TXU ELECTRIC COMPANY
VOLUME 4659, PAGE 1333
D.R.C.C.T.

FOUND 1/2" CIR
"BH&C"

**LOT 1, BLOCK A
ONCOR LAVON
SWITCHING STATION
BLOCK A, LOTS 1 & 2**
C.C.F. NO. 20081114010003980
P.R.C.C.T.



DETAIL "A"
(NOT TO SCALE)

FRANCISCO DE LA PINA SURVEY
ABSTRACT No. 688

**BLOCK A
ONCOR LAVON SWITCHING STATION
LOT 2A AND LOT 2B BLOCK A**
C.C.F. NO. 201207170001750
P.R.C.C.T.

NET 23.125 ACRES (BY DEED)
THE LADYLIKE SHOP, INC.
VOLUME 1030, PAGE 416
D.R.C.C.T.

LOT 2A
CITY OF WYLIE
AS DEDICATED BY THE PLAT OF
ONCOR LAVON SWITCHING STATION
BLOCK A, LOTS 1 & 2
C.C.F. NO. 20081114010003980
P.R.C.C.T.

SEE DETAIL "A"

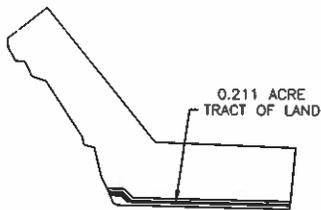
15.0' TEMPORARY
CONSTRUCTION EASEMENT
(0.334 ACRES)

PERMANENT
WATERLINE EASEMENT
(0.211 ACRES)

S 88°48'39"E 821.44'
S 88°48'39"E 826.53'
N 88°48'40"W 846.22'

BROWN STREET
(A VARIABLE WIDTH RIGHT-OF-WAY)

NORTH TEXAS MUNICIPAL
WATER DISTRICT EASEMENT
C.C.F. NO. 201207170001750
P.R.C.C.T.



SUBJECT TRACT AND
LOCATION OF EASEMENT

NOTES:

- ALL HORIZONTAL COORDINATES ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983, NAD2011 (EPOCH 2010.00), NORTH CENTRAL ZONE (4202) AND ADJUSTED TO SURFACE VALUES USING THE TEXAS DEPARTMENT OF TRANSPORTATION SURFACE ADJUSTMENT FACTOR FOR COLLIN COUNTY (1.000152710). ALL DISTANCES AND AREAS SHOWN HEREON ARE SURFACE VALUES AND IN U. S. SURVEY FEET.
- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. THERE MAY BE EASEMENTS AND/OR COVENANTS AFFECTING THIS PROPERTY NOT SHOWN HEREON.

LEGEND	
●	IRON ROD FOUND (AS NOTED)
○	CALCULATED POINT
---	SURVEY LINE
----	EASEMENT LINE
=====	PROPERTY LINE
P.R.C.C.T.	PLAT RECORDS COLLIN COUNTY TEXAS
D.R.C.C.T.	DEED RECORDS COLLIN COUNTY TEXAS
O.P.R.C.C.T.	OFFICIAL PUBLIC RECORDS COLLIN COUNTY TEXAS



SCALE IN FEET

MATCH LINE "A"



NORTH TEXAS MUNICIPAL WATER DISTRICT

505 E. BROWN ST. • P.O. BOX 2408 • WYLIE, TEXAS 75098

NORTH TEXAS MUNICIPAL WATER DISTRICT

"WYLIE-ROCKWALL-FARMERSVILLE 36/48-INCH PIPELINE IMPROVEMENTS, PHASE 1"

PROJECT NO.: 337 PARCEL No.: 2

SURVEY: FRANCISCO DE LA PINA SURVEY ABSTRACT No. 688

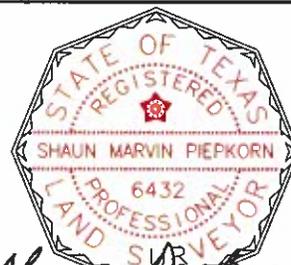
LOCATION: COLLIN COUNTY, TEXAS

SUBJECT TRACT ACREAGE: 12.425 ACRES (CALC) PAGE 4 OF 5

JOB NO. KHA_1415.00 DRAWN BY: SMP CADD FILE: PARCEL 02.DWG

DATE: 03/06/2015 CHK. BY: CTA SCALE: 1" = 100'

GORRONDONA & ASSOCIATES, INC. • 1701 N. MARKET STREET, SUITE 450, LB 5 DALLAS, TEXAS 75202 • 214-712-0600 FAX 214-712-0604



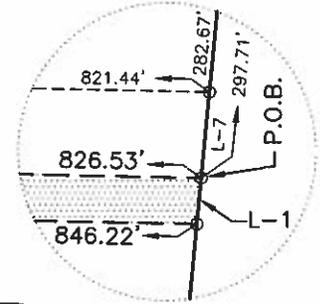
Shaun Marvin Piepkorn
SHAUN MARVIN PIEPKORN
REGISTERED PROFESSIONAL LAND SURVEYOR
NO. 6432 TEXAS FIRM NO. 10108900

LINE TABLE		
LINE	BEARING	DISTANCE
L-1	S 05°20'21"W	8.07'
L-7	S 05°20'21"W	15.04'

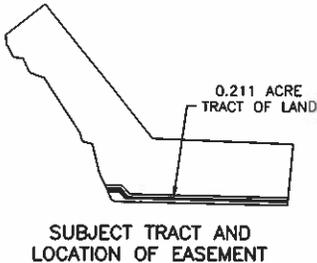
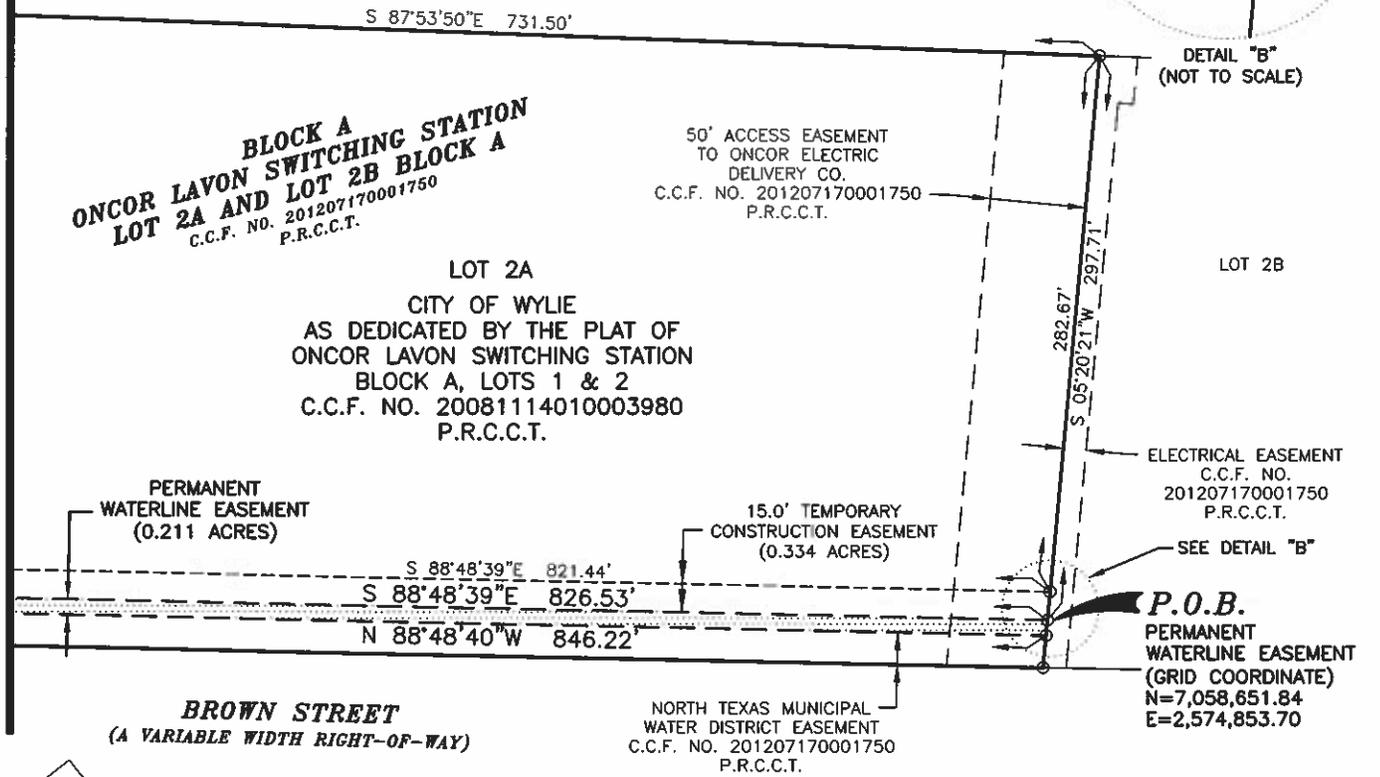
PLAT OF EXHIBIT "A"

**LOT 1, BLOCK A
ONCOR LAVON
SWITCHING STATION
BLOCK A, LOTS 1 & 2**
C.C.F. NO. 20081114010003980
P.R.C.C.T.

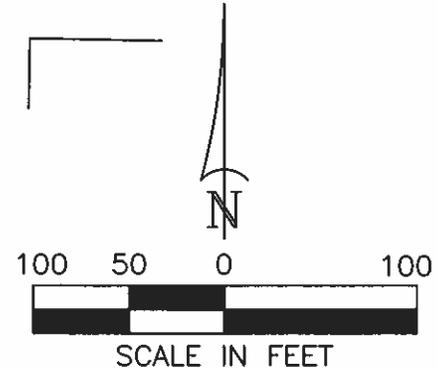
FRANCISCO DE LA PINA SURVEY
ABSTRACT No. 688



MATCH LINE "A"



LEGEND	
●	IRON ROD FOUND (AS NOTED)
○	CALCULATED POINT
---	SURVEY LINE
----	EASEMENT LINE
=====	PROPERTY LINE
P.R.C.C.T.	PLAT RECORDS COLLIN COUNTY TEXAS
D.R.C.C.T.	DEED RECORDS COLLIN COUNTY TEXAS
O.P.R.C.C.T.	OFFICIAL PUBLIC RECORDS COLLIN COUNTY TEXAS



NOTES:
(1) ALL HORIZONTAL COORDINATES ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983, NA2011 (EPOCH 2010.00), NORTH CENTRAL ZONE (4202) AND ADJUSTED TO SURFACE VALUES USING THE TEXAS DEPARTMENT OF TRANSPORTATION SURFACE ADJUSTMENT FACTOR FOR COLLIN COUNTY (1.000152710). ALL DISTANCES AND AREAS SHOWN HEREON ARE SURFACE VALUES AND IN U. S. SURVEY FEET.
(2) THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. THERE MAY BE EASEMENTS AND/OR COVENANTS AFFECTING THIS PROPERTY NOT SHOWN HEREON.

NORTH TEXAS MUNICIPAL WATER DISTRICT
505 E. BROWN ST. • P.O. BOX 2408 • WYLIE, TEXAS 75098

NORTH TEXAS MUNICIPAL WATER DISTRICT	
"WYLIE-ROCKWALL-FARMERSVILLE 36/48-INCH PIPELINE IMPROVEMENTS, PHASE 1"	
PROJECT NO.: 337	PARCEL No.: 2
SURVEY: FRANCISCO DE LA PINA SURVEY ABSTRACT No. 688	
LOCATION: COLLIN COUNTY, TEXAS	
SUBJECT TRACT ACREAGE: 12.425 ACRES (CALC)	PAGE 5 OF 5
JOB NO. KHA_1415.00	DRAWN BY: SMP
DATE: 03/06/2015	CHK. BY: CTA
CADD FILE: PARCEL 02.DWG	
SCALE: 1" = 100'	

SHAUN MARVIN PIEPKORN
REGISTERED PROFESSIONAL LAND SURVEYOR
NO. 6432 TEXAS FIRM NO. 10106900

EXHIBIT "A"
NORTH TEXAS MUNICIPAL WATER DISTRICT
NTMWD WYLIE 36" PIPELINE REHABILITATION PROJECT

PARCEL NO. 5
OWNER: CITY OF WYLIE
PERMANENT WATERLINE EASEMENT
FRANCISCO DE LA PINA SURVEY, ABSTRACT NO. 688
COLLIN COUNTY, TEXAS

Being a permanent waterline easement situated in the Francisco De La Pina Survey, Abstract No. 688, City of Wylie, Collin County, Texas and being a portion of Lot 1, Block A of Eastridge Addition, an addition to the City of Wylie, Collin County, Texas as recorded in Cabinet F, Slide 715 of the Plat Records of Collin County, Texas, said Lot 1 being deeded to the City of Wylie as recorded in Volume 5944, Page 2461 of the Deed Records of Collin County, Texas, said permanent waterline easement being more particularly described by metes and bounds as follows:

COMMENCING at a 1/2 inch iron rod found for the southwest corner of said Lot 1, said 1/2 inch iron rod being the northwest corner of Lot 2 of said Block A, said 1/2 inch iron rod also being in the east right-of-way line of W.A. Allen Boulevard (a 65' right-of-way); **THENCE** North 02 degrees 50 minutes 01 seconds East, with the west line of said Lot 1 and with the east right-of-way line of said W.A. Allen Boulevard, a distance of 194.18 feet to the **POINT OF BEGINNING** of said permanent waterline easement, said point having a grid coordinate of N=7,058,503.76 and E=2,575,503.53;

THENCE North 02 degrees 50 minutes 01 seconds East, with the west line of said Lot 1 and with the east right-of-way line of said W.A. Allen Boulevard, a distance of 10.00 feet to a point for the southwest corner of an existing 20' North Texas Municipal Water District easement as recorded in Volume 3128, Page 273 of said Deed Records of Collin County, Texas;

THENCE South 88 degrees 52 minutes 43 seconds East, with the south line of said existing North Texas Municipal Water District Easement, a distance of 481.97 feet to a point for corner in the east line of said Lot 1, said point being in the west line of Lot 1, Block A of Oak Meadow, an addition to the City of Wylie, Collin County, Texas as recorded in Cabinet L, Slide 614 of said Plat Records of Collin County, Texas, from which a 1/2 inch iron rod found for the northeast corner of said Lot 1, Block A of Eastridge Addition bears North 02 degrees 55 minutes 41 seconds East, a distance of 20.01 feet, said 1/2 inch iron rod being the northwest corner of said Lot 1, Block A of Oak Meadow Addition;

THENCE South 02 degrees 55 minutes 41 seconds West, with the east line of said Lot 1, Block A of Eastridge Addition and with the west line of said Lot 1, Block A of Oak Meadow Addition, a distance of 10.00 feet to a point for corner;

THENCE North 88 degrees 52 minutes 43 seconds West, a distance of 481.95 feet to the **POINT OF BEGINNING** and containing 4,822 square feet or 0.111 acres of land, more or less.

15.0' TEMPORARY CONSTRUCTION EASEMENTS

The above described permanent waterline easement is also subject to two temporary construction easement being parallel and adjacent to said permanent waterline easement, located and shown on the accompanying survey plat, said two 15.0' temporary construction easements contain 0.041 acres of land and 0.067 acres of land, for a total of 0.108 acres of land, more or less. The said two 15.0' temporary construction easements shall expire as noted in the easement agreement.

NOTE: All horizontal coordinates are based on the Texas State Plane Coordinate System, North American Datum of 1983, NA2011 (Epoch 2010.00), North Central Zone (4202) and adjusted to surface values using the Texas Department of Transportation Surface Adjustment Factor for Collin County (1.000152710). Distances and areas shown are surface values.

* SURVEYOR'S CERTIFICATE *

TO ALL PARTIES INTERESTED IN TITLE TO THE PREMISES SURVEYED, I DO HEREBY STATE THAT THE ABOVE LEGAL DESCRIPTION WAS PREPARED FROM PUBLIC RECORDS AND FROM AN ACTUAL AND ACCURATE SURVEY UPON THE GROUND AND THAT SAME IS TRUE AND CORRECT.

Company Name: **Gorrondona & Associates, Inc.**

By: Shaun Piepkorn

Surveyor's Name: Shaun Marvin Piepkorn
Registered Professional Land Surveyor
Texas No. 6432
Texas Firm No. 10106900
Date of Survey: March 06, 2015

(Exhibit "A") Page 2 of 4



PLAT OF EXHIBIT "A"

LINE TABLE		
LINE	BEARING	DISTANCE
L-1	N 02°50'01"E	10.01'
L-4	N 02°50'01"E	15.01'
L-5	S 01°07'17"W	15.00'

BROWN STREET
(A VARIABLE WIDTH RIGHT-OF-WAY)

20' NORTH TEXAS MUNICIPAL
WATER DISTRICT EASEMENT
VOLUME 3128, PAGE 273
D.R.C.C.T.

P.O.B.
PERMANENT
WATERLINE EASEMENT
(GRID COORDINATE)
N=7,058,503.76
E=2,575,503.53

PERMANENT
WATERLINE EASEMENT
(0.111 ACRES)

W.A. ALLEN BOULEVARD
(A 65' RIGHT-OF-WAY)
CABINET F, SLIDE 715
P.R.C.C.T.

LOT 1
CITY OF WYLIE
VOLUME 5944, PAGE 2461
D.R.C.C.T.

**BLOCK A
EASTRIDGE ADDITION**
CABINET F, SLIDE 715
P.R.C.C.T.

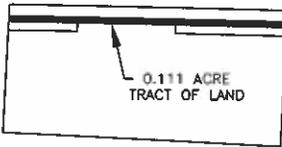
FRANCISCO DE LA PINA SURVEY
ABSTRACT No. 688

P.O.C.
FOUND 1/2" IR

16' T.P.&L. EASEMENT
CABINET F, SLIDE 715
P.R.C.C.T.

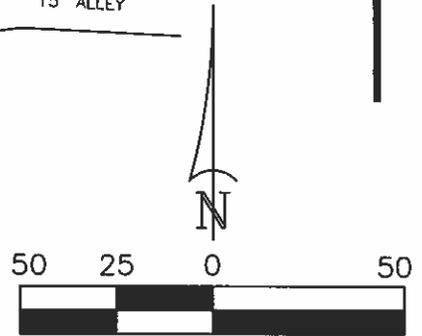
LOT 2

15' ALLEY



SUBJECT TRACT AND
LOCATION OF EASEMENT

LEGEND	
●	IRON ROD FOUND (AS NOTED)
○	CALCULATED POINT
---	SURVEY LINE
---	EASEMENT LINE
---	PROPERTY LINE
P.R.C.C.T.	PLAT RECORDS COLLIN COUNTY TEXAS
D.R.C.C.T.	DEED RECORDS COLLIN COUNTY TEXAS
O.P.R.C.C.T.	OFFICIAL PUBLIC RECORDS COLLIN COUNTY TEXAS



NOTES:

- ALL HORIZONTAL COORDINATES ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983, NA2011 (EPOCH 2010.00), NORTH CENTRAL ZONE (4202) AND ADJUSTED TO SURFACE VALUES USING THE TEXAS DEPARTMENT OF TRANSPORTATION SURFACE ADJUSTMENT FACTOR FOR COLLIN COUNTY (1.000152710). ALL DISTANCES AND AREAS SHOWN HEREON ARE SURFACE VALUES AND IN U. S. SURVEY FEET.
- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. THERE MAY BE EASEMENTS AND/OR COVENANTS AFFECTING THIS PROPERTY NOT SHOWN HEREON.



NORTH TEXAS MUNICIPAL WATER DISTRICT
505 E. BROWN ST. • P.O. BOX 2408 • WYLIE, TEXAS 75098



SHAUN MARVIN PIEPKORN
REGISTERED PROFESSIONAL LAND SURVEYOR
NO. 6432 TEXAS FIRM NO. 10106900

"WYLIE-ROCKWALL-FARMERSVILLE 36/48-INCH PIPELINE IMPROVEMENTS, PHASE 1"

PROJECT NO.: 337 PARCEL No.: 5

SURVEY: FRANCISCO DE LA PINA SURVEY ABSTRACT No. 688

LOCATION: COLLIN COUNTY, TEXAS

SUBJECT TRACT ACREAGE: 2.558 ACRES (CALC)

PAGE 3 OF 4

JOB NO. KHA_1415.00

DRAWN BY: SMP

CADD FILE: PARCEL 05.DWG

DATE: 03/06/2015

CHK. BY: CTA

SCALE: 1" = 50'

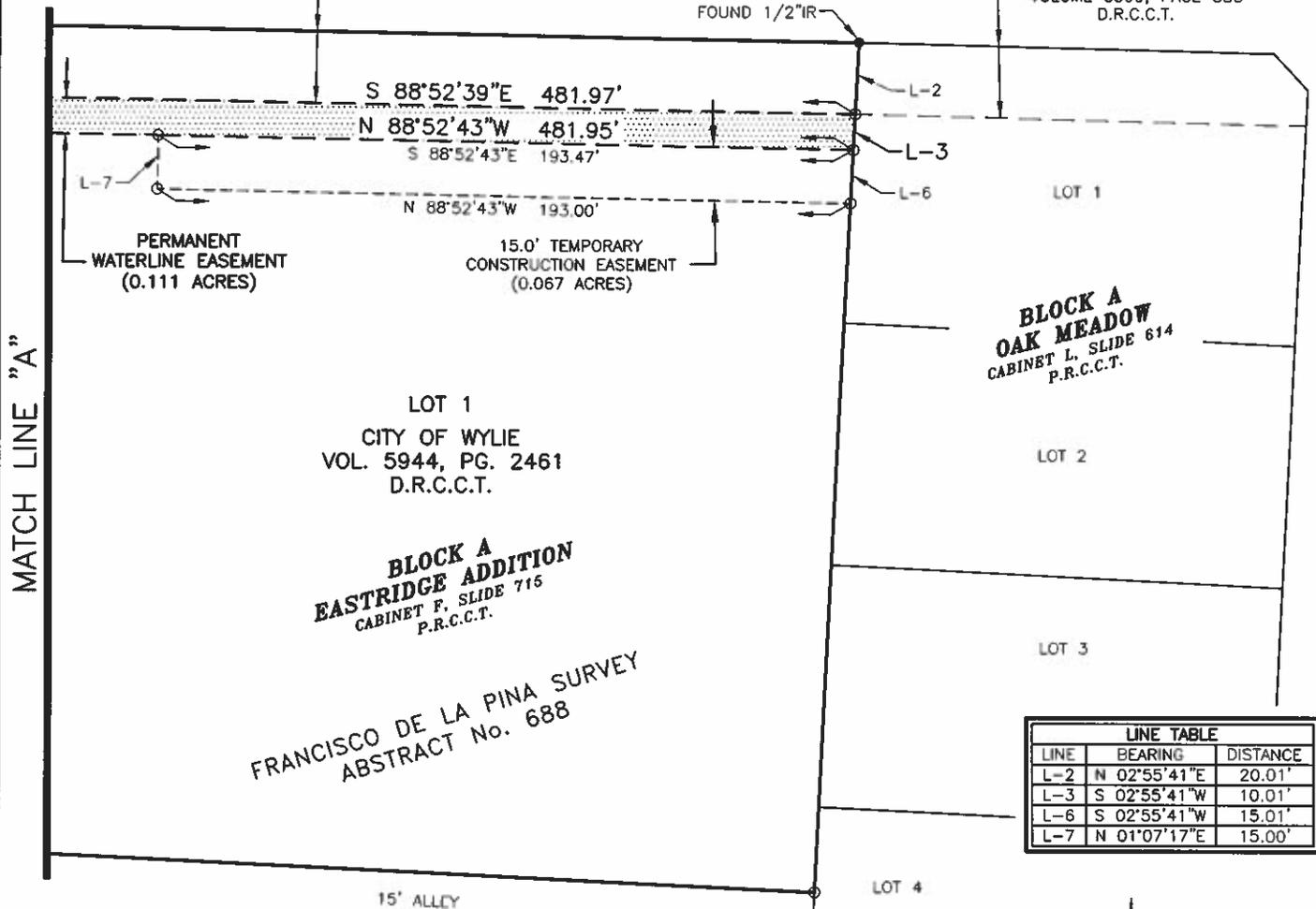
MATCH LINE "A"

PLAT OF EXHIBIT "A"

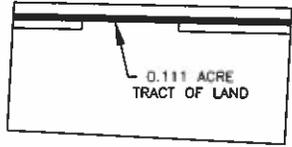
20' NORTH TEXAS MUNICIPAL
WATER DISTRICT EASEMENT
VOLUME 3128, PAGE 273
D.R.C.C.T.

BROWN STREET
(A VARIABLE WIDTH RIGHT-OF-WAY)

20' NORTH TEXAS MUNICIPAL
WATER DISTRICT EASEMENT
VOLUME 3599, PAGE 355
D.R.C.C.T.



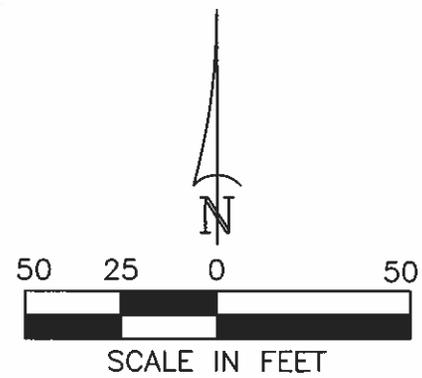
LINE TABLE		
LINE	BEARING	DISTANCE
L-2	N 02°55'41"E	20.01'
L-3	S 02°55'41"W	10.01'
L-6	S 02°55'41"W	15.01'
L-7	N 01°07'17"E	15.00'



SUBJECT TRACT AND LOCATION OF EASEMENT

NOTES:
 (1) ALL HORIZONTAL COORDINATES ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983, NAD2011 (EPOCH 2010.00), NORTH CENTRAL ZONE (4202) AND ADJUSTED TO SURFACE VALUES USING THE TEXAS DEPARTMENT OF TRANSPORTATION SURFACE ADJUSTMENT FACTOR FOR COLLIN COUNTY (1.000152710). ALL DISTANCES AND AREAS SHOWN HEREON ARE SURFACE VALUES AND IN U. S. SURVEY FEET.
 (2) THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. THERE MAY BE EASEMENTS AND/OR COVENANTS AFFECTING THIS PROPERTY NOT SHOWN HEREON.

LEGEND	
●	IRON ROD FOUND (AS NOTED)
○	CALCULATED POINT
---	SURVEY LINE
---	EASEMENT LINE
---	PROPERTY LINE
P.R.C.C.T.	PLAT RECORDS COLLIN COUNTY TEXAS
D.R.C.C.T.	DEED RECORDS COLLIN COUNTY TEXAS
O.P.R.C.C.T.	OFFICIAL PUBLIC RECORDS COLLIN COUNTY TEXAS



NORTH TEXAS MUNICIPAL WATER DISTRICT
505 E. BROWN ST. • P.O. BOX 2408 • WYLIE, TEXAS 75098

NORTH TEXAS MUNICIPAL WATER DISTRICT
"WYLIE-ROCKWALL-FARMERSVILLE 36/48-INCH PIPELINE IMPROVEMENTS, PHASE 1"

PROJECT NO.: 337	PARCEL No.: 5
SURVEY: FRANCISCO DE LA PINA SURVEY ABSTRACT No. 688	
LOCATION: COLLIN COUNTY, TEXAS	
SUBJECT TRACT ACREAGE: 2.558 ACRES (CALC)	PAGE 4 OF 4
JOB NO. KHA_1415.00	DRAWN BY: SMP
DATE: 03/06/2015	CHK. BY: CTA
SCALE: 1" = 50'	

SHAUN MARVIN PIEPKORN
REGISTERED PROFESSIONAL LAND SURVEYOR
NO. 6432 TEXAS FIRM NO. 10106900

EXHIBIT "A"
NORTH TEXAS MUNICIPAL WATER DISTRICT
WYLIE-ROCKWALL-FARMERSVILLE 36/48-INCH PIPELINE IMPROVEMENTS, PHASE 1
PROJECT NO. 337

PARCEL NO. 7
OWNER: CITY OF WYLIE
PERMANENT WATERLINE EASEMENT
FRANCISCO DE LA PINA SURVEY, ABSTRACT NO. 688
COLLIN COUNTY, TEXAS

Being a permanent waterline easement situated in the Francisco De La Pina Survey, Abstract No. 688, City of Wylie, Collin County, Texas and being a portion of Lot 11, Block A of Avalon Addition Phase I, an addition to the City of Wylie, Collin County, Texas as recorded in Cabinet P, Slide 688 of the Plat Records of Collin County, Texas, said Lot 11 being deeded to City of Wylie as recorded in Volume 5722, Page 4872 of the Official Public Records of Collin County, Texas, said permanent waterline easement being more particularly described by metes and bounds as follows:

COMMENCING at a 1/2 inch iron rod found for the southeast corner of said Lot 11, said 1/2 inch iron rod being the northeast corner of said Lot 1, Block A, said 1/2 inch iron rod being in the west line of Lot 1, Block X of said Avalon Addition Phase I, said 1/2 inch iron rod also being the beginning of a curve to the right having a radius of 302.50 feet, a central angle of 00 degrees 08 minutes 52 seconds, and whose chord bears North 10 degrees 32 minutes 27 seconds East, a distance of 0.78 feet; **THENCE** with the east line of said Lot 11, with the west line of said Lot 1, Block X, and with said curve to the right, an arc length of 0.78 feet to a point for the beginning of a reverse curve to the left having a radius of 257.50 feet, a central angle of 11 degrees 22 minutes 30 seconds, and whose chord bears North 04 degrees 55 minutes 38 seconds East, a distance of 51.04 feet; **THENCE** with the east line of said Lot 11, with the west line of said Lot 1, Block X, and with said reverse curve to the left, an arc length of 51.12 feet to a point for corner; **THENCE** North 00 degrees 45 minutes 37 seconds West, with the east line of said Lot 11 and with the west line of said Lot 1, Block X, a distance of 86.35 feet to a point for the beginning of a curve to the right having a radius of 884.89 feet, a central angle of 07 degrees 04 minutes 15 seconds, and whose chord bears North 02 degrees 46 minutes 30 seconds East, a distance of 109.13 feet; **THENCE** with the east line of said Lot 11, with the west line of said Lot 1, Block X, and with said curve to the right, an arc length of 109.20 feet to a point for the beginning of a reverse curve to the left having a radius of 838.45 feet, a central angle of 05 degrees 11 minutes 08 seconds, and whose chord bears North 03 degrees 43 minutes 04 seconds East, a distance of 75.86 feet; **THENCE** with the east line of said Lot 11, with the west line of said Lot 1, Block X, and with said reverse curve to the left, an arc length of 75.88 feet to the **POINT OF BEGINNING** of the herein described permanent waterline easement, said point having a grid coordinate of N=7,058,403.00 and E=2,578,382.57;

THENCE North 88 degrees 47 minutes 34 seconds West, a distance of 5.78 feet to a point for corner;

THENCE North 79 degrees 11 minutes 34 seconds West, a distance of 29.98 feet to a point for corner;

(Exhibit "A") Page 1 of 6

- THENCE** North 88 degrees 47 minutes 34 seconds West, a distance of 219.44 feet to a point for corner;
- THENCE** North 43 degrees 47 minutes 34 seconds West, a distance of 50.91 feet to a point for corner;
- THENCE** North 88 degrees 47 minutes 34 seconds West, a distance of 54.60 feet to a point for corner;
- THENCE** South 46 degrees 12 minutes 26 seconds West, a distance of 50.91 feet to a point for corner;
- THENCE** North 88 degrees 47 minutes 34 seconds West, a distance of 300.83 feet to a point for corner in the west line of said Lot 11, said point being in the east right-of-way line of Springdale Way (a variable width right-of-way), from which a 5/8 inch iron rod found for the southwest corner of said Lot 11 bears South 00 degrees 08 minutes 54 seconds West, a distance of 150.02 feet, said 5/8 inch iron rod being the northwest corner of Lot 10 of said Block A, said 5/8 inch iron rod also being in the east right-of-way line of said Springdale Way;
- THENCE** North 00 degrees 08 minutes 54 seconds East, with the west line of said Lot 11 and with the east right-of-way line of said Springdale Way, a distance of 20.00 feet to a point for the southwest corner of an existing 25' Water Easement as recorded in Cabinet P, Slide 688 of said Plat Records of Collin County, Texas;
- THENCE** South 88 degrees 47 minutes 34 seconds East, with the south line of said existing 25' Water Easement, a distance of 292.92 feet to a point for corner;
- THENCE** North 46 degrees 12 minutes 26 seconds East, a distance of 35.36 feet to a point for corner in the north line of said existing 25' Water Easement, said point being in the south line of an existing 20' North Texas Municipal Water District Easement as recorded in Volume 3257, Page 417 of the Deed Records of Collin County, Texas;
- THENCE** South 88 degrees 47 minutes 34 seconds East, with the north line of said existing 25' Water easement and with the south line of said existing 20' North Texas Municipal Water District Easement, a distance of 93.17 feet to a point for corner;
- THENCE** South 43 degrees 47 minutes 34 seconds East, a distance of 35.36 feet to a point for corner in the south line of said existing 25' Water Easement;
- THENCE** South 88 degrees 47 minutes 34 seconds East, with the south line of said existing 25' Water Easement, a distance of 246.40 feet to a point for the southeast corner of said existing 25' Water Easement, said point being in the east line of said Lot 11, said point being in the west line of said Lot 1, Block X;

(Exhibit "A") Page 2 of 6

THENCE South 00 degrees 57 minutes 33 seconds West, with the east line of said Lot 11 and with the west line of said Lot 1, Block X, a distance of 22.57 feet to a point for the beginning of a curve to the right having a radius of 838.45 feet, a central angle of 00 degrees 09 minutes 57 seconds, and whose chord bears South 01 degrees 02 minutes 31 seconds West, a distance of 2.43 feet;

THENCE with the east line of said Lot 11, with the west line of said Lot 1, Block X, and with said curve to the right, an arc length of 2.43 feet to the **POINT OF BEGINNING** and containing 13,442 square feet or 0.309 acres of land, more or less.

TWO 15.0' TEMPORARY CONSTRUCTION EASEMENTS

The above described permanent waterline easement is also subject to two 15.0' temporary construction easements being parallel and adjacent to said permanent waterline easement, located and shown on the accompanying survey plat, said two 15.0' temporary construction easements contain 0.085 acres of land and 0.101 acres of land, for a total of 0.186 acres of land, more or less. The said two 15.0' temporary construction easements shall expire as noted in the easement agreement.

NOTE: All horizontal coordinates are based on the Texas State Plane Coordinate System, North American Datum of 1983, NA2011 (Epoch 2010.00), North Central Zone (4202) and adjusted to surface values using the Texas Department of Transportation Surface Adjustment Factor for Collin County (1.000152710). Distances and areas shown are surface values.

* SURVEYOR'S CERTIFICATE *

TO ALL PARTIES INTERESTED IN TITLE TO THE PREMISES SURVEYED, I DO HEREBY STATE THAT THE ABOVE LEGAL DESCRIPTION WAS PREPARED FROM PUBLIC RECORDS AND FROM AN ACTUAL AND ACCURATE SURVEY UPON THE GROUND AND THAT SAME IS TRUE AND CORRECT.

Company Name: **Gorrondona & Associates, Inc.**

By: *Shaun Piepkorn*

Surveyor's Name: Shaun Marvin Piepkorn
Registered Professional Land Surveyor
Texas No. 6432
Texas Firm No. 10106900
Date of Survey: April 1, 2015

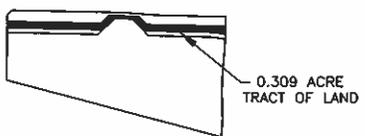
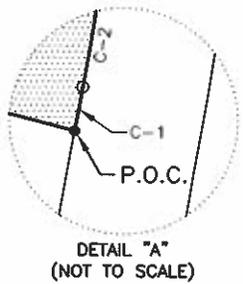
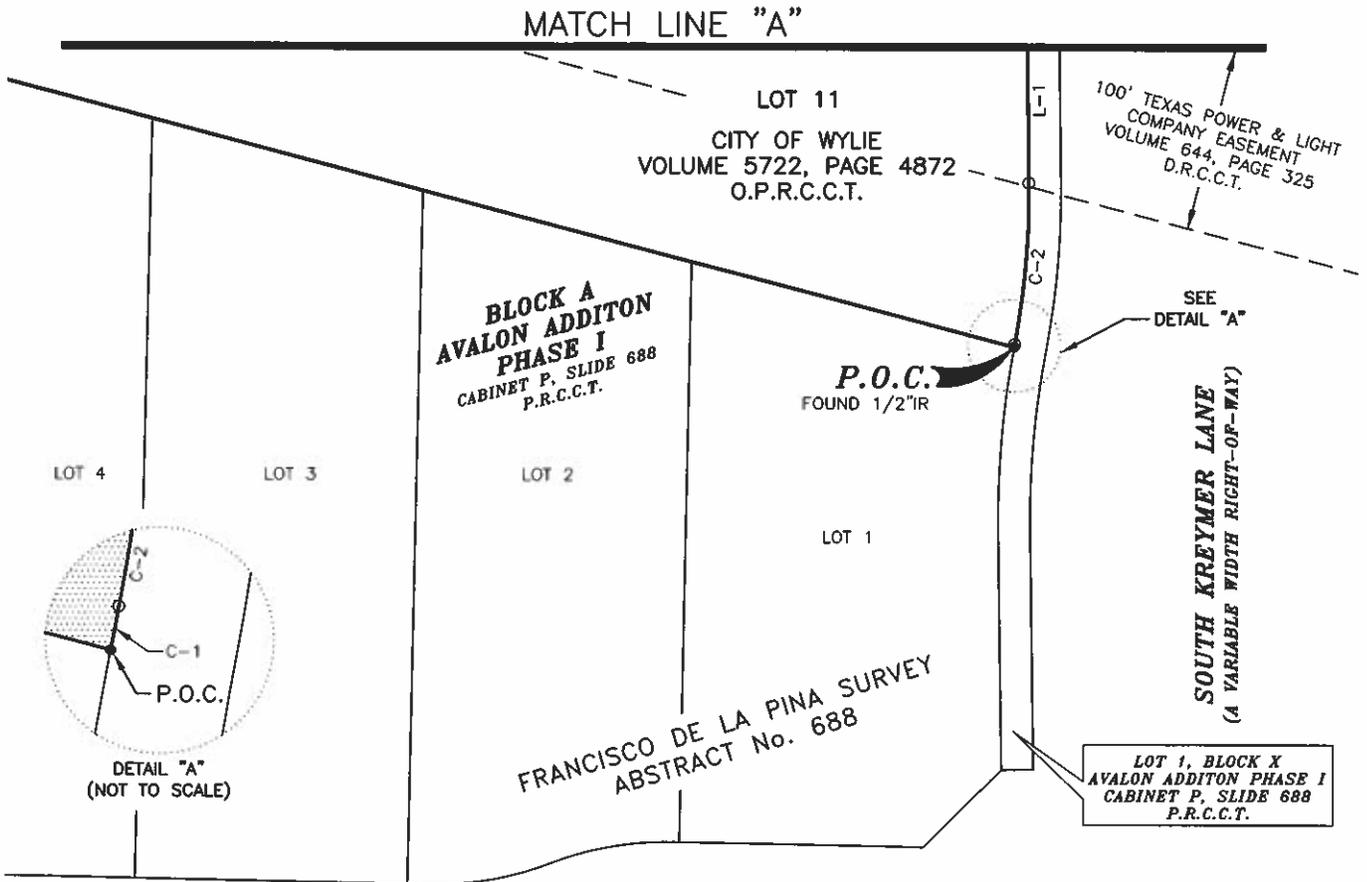


(Exhibit "A") Page 3 of 6

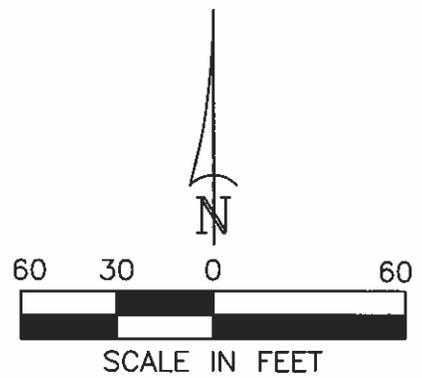
PLAT OF EXHIBIT "A"

LINE TABLE		
LINE	BEARING	DISTANCE
L-1	N 00°45'37"W	86.35'

CURVE TABLE					
CURVE	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH	ARC LENGTH
C-1	302.50'	00°08'52" RT	N 10°32'27"E	0.78'	0.78'
C-2	257.50'	11°22'30" LT	N 04°55'38"E	51.04'	51.12'



LEGEND	
●	IRON ROD FOUND (AS NOTED)
○	CALCULATED POINT
---	SURVEY LINE
---	EASEMENT LINE
---	PROPERTY LINE
P.R.C.C.T.	PLAT RECORDS COLLIN COUNTY TEXAS
D.R.C.C.T.	DEED RECORDS COLLIN COUNTY TEXAS
O.P.R.C.C.T.	OFFICIAL PUBLIC RECORDS COLLIN COUNTY TEXAS



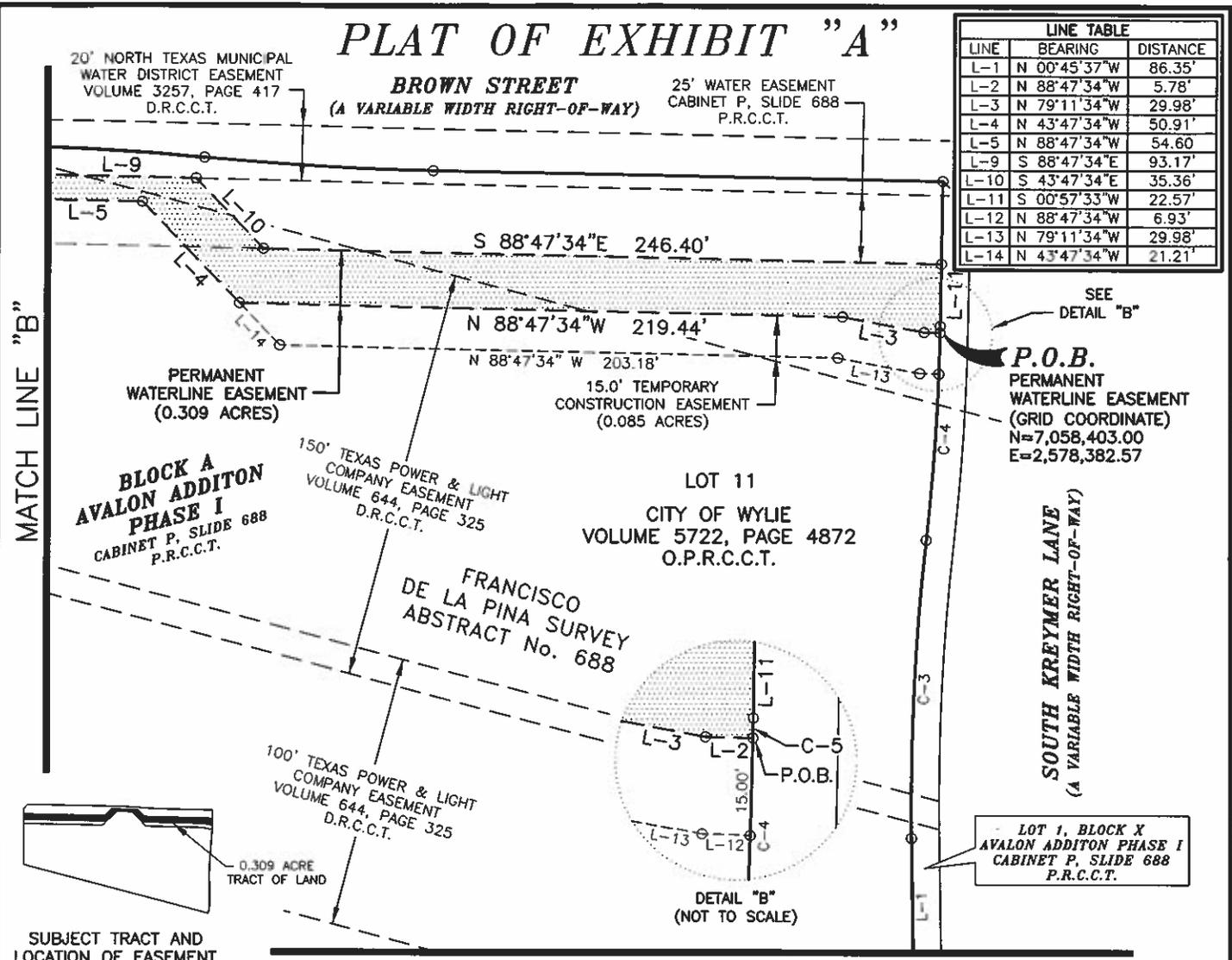
NOTES:
 (1) ALL HORIZONTAL COORDINATES ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983, NAD2011 (EPOCH 2010.00), NORTH CENTRAL ZONE (4202) AND ADJUSTED TO SURFACE VALUES USING THE TEXAS DEPARTMENT OF TRANSPORTATION SURFACE ADJUSTMENT FACTOR FOR COLLIN COUNTY (1.000152710). ALL DISTANCES AND AREAS SHOWN HEREON ARE SURFACE VALUES AND IN U. S. SURVEY FEET.
 (2) THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. THERE MAY BE EASEMENTS AND/OR COVENANTS AFFECTING THIS PROPERTY NOT SHOWN HEREON.

NORTH TEXAS MUNICIPAL WATER DISTRICT
 505 E. BROWN ST. • P.O. BOX 2408 • WYLIE, TEXAS 75098

NORTH TEXAS MUNICIPAL WATER DISTRICT		
"WYLIE-ROCKWALL-FARMERSVILLE 36/48-INCH PIPELINE IMPROVEMENTS, PHASE 1"		
PROJECT NO.: 337	PARCEL No.: 7	
SURVEY: FRANCISCO DE LA PINA SURVEY ABSTRACT No. 688		
LOCATION: COLLIN COUNTY, TEXAS		
SUBJECT TRACT ACREAGE: 4.658 ACRES (CALC)	PAGE 4 OF 6	
JOB NO. KHA_1415.00	DRAWN BY: SMP	CADD FILE: PARCEL 07.DWG
DATE: 04/01/2015	CHK. BY: CTA	SCALE: 1" = 60'

SHAUN MARVIN PIEPKORN
 REGISTERED PROFESSIONAL LAND SURVEYOR
 NO. 6432 TEXAS FIRM NO. 10106900

PLAT OF EXHIBIT "A"



LINE TABLE		
LINE	BEARING	DISTANCE
L-1	N 00°45'37"W	86.35'
L-2	N 88°47'34"W	5.78'
L-3	N 79°11'34"W	29.98'
L-4	N 43°47'34"W	50.91'
L-5	N 88°47'34"W	54.60'
L-9	S 88°47'34"E	93.17'
L-10	S 43°47'34"E	35.36'
L-11	S 00°57'33"W	22.57'
L-12	N 88°47'34"W	6.93'
L-13	N 79°11'34"W	29.98'
L-14	N 43°47'34"W	21.21'

SUBJECT TRACT AND LOCATION OF EASEMENT

MATCH LINE "A"

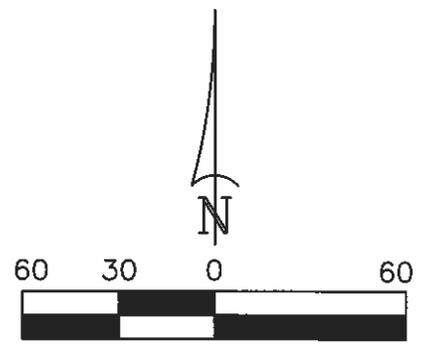
LEGEND	
●	IRON ROD FOUND (AS NOTED)
○	CALCULATED POINT
---	SURVEY LINE
----	EASEMENT LINE
=====	PROPERTY LINE
P.R.C.C.T.	PLAT RECORDS COLLIN COUNTY TEXAS
D.R.C.C.T.	DEED RECORDS COLLIN COUNTY TEXAS
O.P.R.C.C.T.	OFFICIAL PUBLIC RECORDS COLLIN COUNTY TEXAS

NOTES:

(1) ALL HORIZONTAL COORDINATES ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983, MA2011 (EPOCH 2010.00), NORTH CENTRAL ZONE (4202) AND ADJUSTED TO SURFACE VALUES USING THE TEXAS DEPARTMENT OF TRANSPORTATION SURFACE ADJUSTMENT FACTOR FOR COLLIN COUNTY (1.000152710). ALL DISTANCES AND AREAS SHOWN HEREON ARE SURFACE VALUES AND IN U. S. SURVEY FEET.

(2) THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. THERE MAY BE EASEMENTS AND/OR COVENANTS AFFECTING THIS PROPERTY NOT SHOWN HEREON.

CURVE TABLE					
CURVE	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH	ARC LENGTH
C-3	884.89'	07°04'15" RT	N 02°46'30"E	109.13'	109.20'
C-4	838.45'	05°11'08" LT	N 03°43'04"E	75.86'	75.88'
C-5	838.45'	00°09'57" RT	S 01°02'31"W	2.43'	2.43'



NORTH TEXAS MUNICIPAL WATER DISTRICT
505 E. BROWN ST. • P.O. BOX 2408 • WYLIE, TEXAS 75098

NORTH TEXAS MUNICIPAL WATER DISTRICT
"WYLIE-ROCKWALL-FARMERSVILLE 36/48-INCH PIPELINE IMPROVEMENTS, PHASE 1"

PROJECT NO.: 337	PARCEL No.: 7
SURVEY: FRANCISCO DE LA PINA SURVEY ABSTRACT No. 688	
LOCATION: COLLIN COUNTY, TEXAS	
SUBJECT TRACT ACREAGE: 4.658 ACRES (CALC)	PAGE 5 OF 6
JOB NO. KHA_1415.00	DRAWN BY: SMP
DATE: 04/01/2015	CHK. BY: CTA
CADD FILE: PARCEL 07.DWG	
SCALE: 1" = 60'	

STATE OF TEXAS
REGISTERED
SHAUN MARVIN PIEPKORN
6432
PROFESSIONAL
LAND SURVEYOR

Shaun Piepkorn

SHAUN MARVIN PIEPKORN
REGISTERED PROFESSIONAL LAND SURVEYOR
NO. 6432 TEXAS FIRM NO. 10106900

PLAT OF EXHIBIT "A"

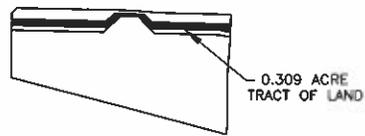
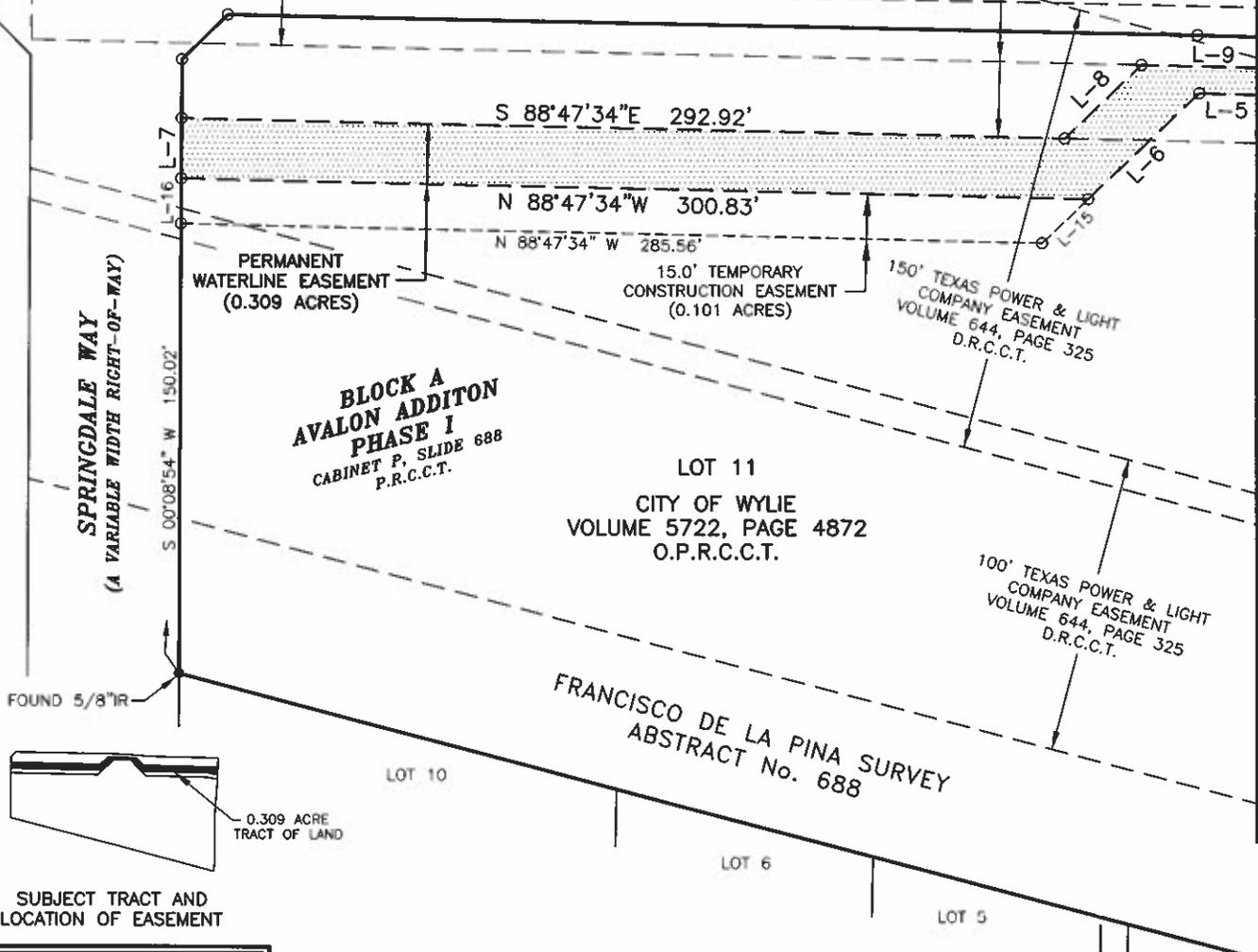
20' NORTH TEXAS MUNICIPAL
WATER DISTRICT EASEMENT
VOLUME 3257, PAGE 417
D.R.C.C.T.

BROWN STREET
(A VARIABLE WIDTH RIGHT-OF-WAY)

25' WATER EASEMENT
CABINET P, SLIDE 688
P.R.C.C.T.

SPRINGDALE WAY
(A VARIABLE WIDTH RIGHT-OF-WAY)

MATCH LINE "B"

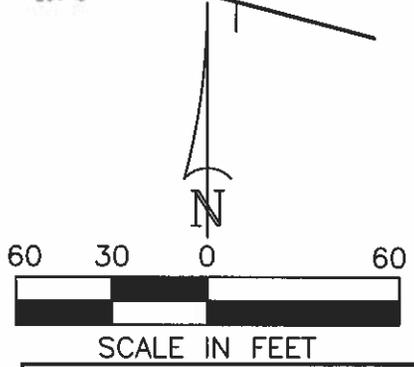


SUBJECT TRACT AND LOCATION OF EASEMENT

LINE TABLE		
LINE	BEARING	DISTANCE
L-5	N 88°47'34"W	54.60'
L-6	S 46°12'26"W	50.91'
L-7	N 00°08'54"E	20.00'
L-8	N 46°12'26"E	35.36'
L-9	S 88°47'34"E	93.17'
L-15	S 46°12'26"W	21.21'
L-16	N 00°08'54"E	15.00'

LEGEND	
●	IRON ROD FOUND (AS NOTED)
○	CALCULATED POINT
---	SURVEY LINE
---	EASEMENT LINE
---	PROPERTY LINE
P.R.C.C.T.	PLAT RECORDS COLLIN COUNTY TEXAS
D.R.C.C.T.	DEED RECORDS COLLIN COUNTY TEXAS
O.P.R.C.C.T.	OFFICIAL PUBLIC RECORDS COLLIN COUNTY TEXAS

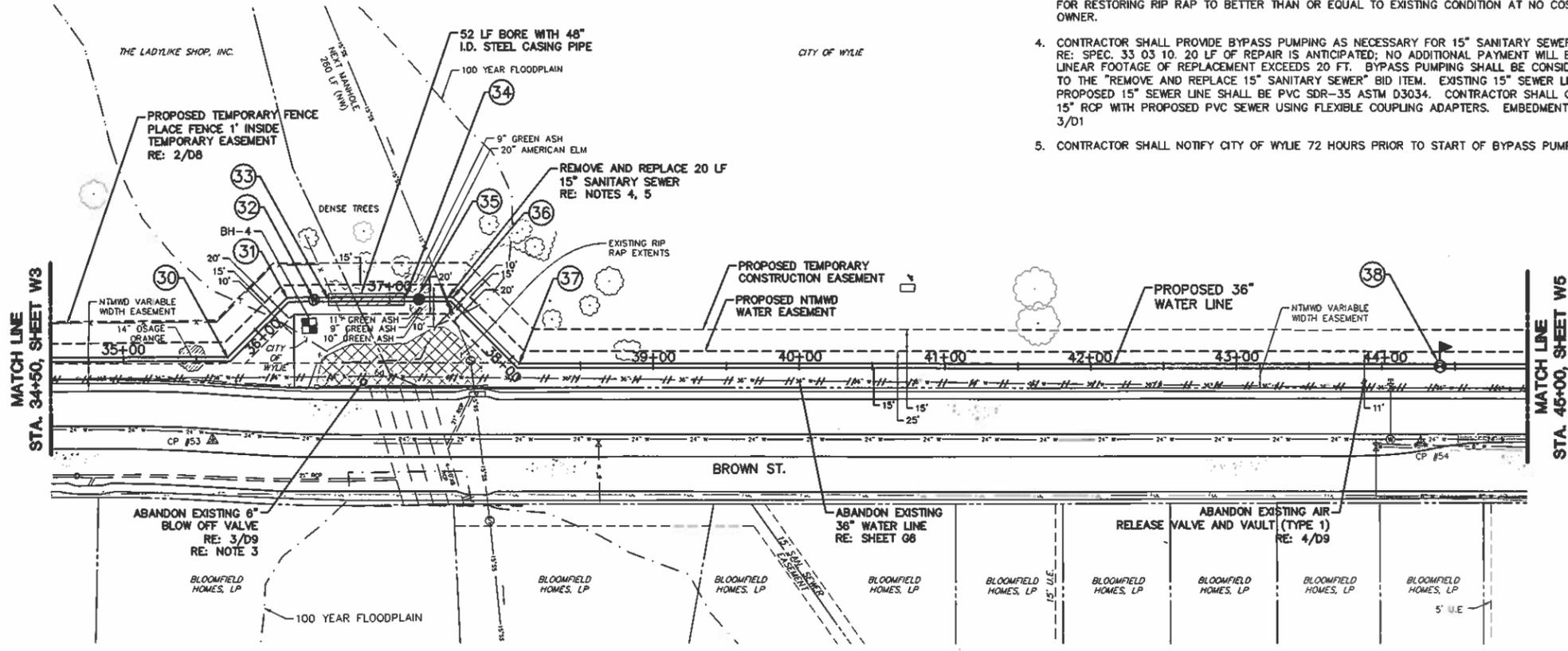
NOTES:
 (1) ALL HORIZONTAL COORDINATES ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983, NAD2011 (EPOCH 2010.00), NORTH CENTRAL ZONE (4202) AND ADJUSTED TO SURFACE VALUES USING THE TEXAS DEPARTMENT OF TRANSPORTATION SURFACE ADJUSTMENT FACTOR FOR COLLIN COUNTY (1.000152710). ALL DISTANCES AND AREAS SHOWN HEREON ARE SURFACE VALUES AND IN U. S. SURVEY FEET.
 (2) THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. THERE MAY BE EASEMENTS AND/OR COVENANTS AFFECTING THIS PROPERTY NOT SHOWN HEREON.



NORTH TEXAS MUNICIPAL WATER DISTRICT
505 E. BROWN ST. • P.O. BOX 2408 • WYLIE, TEXAS 75098

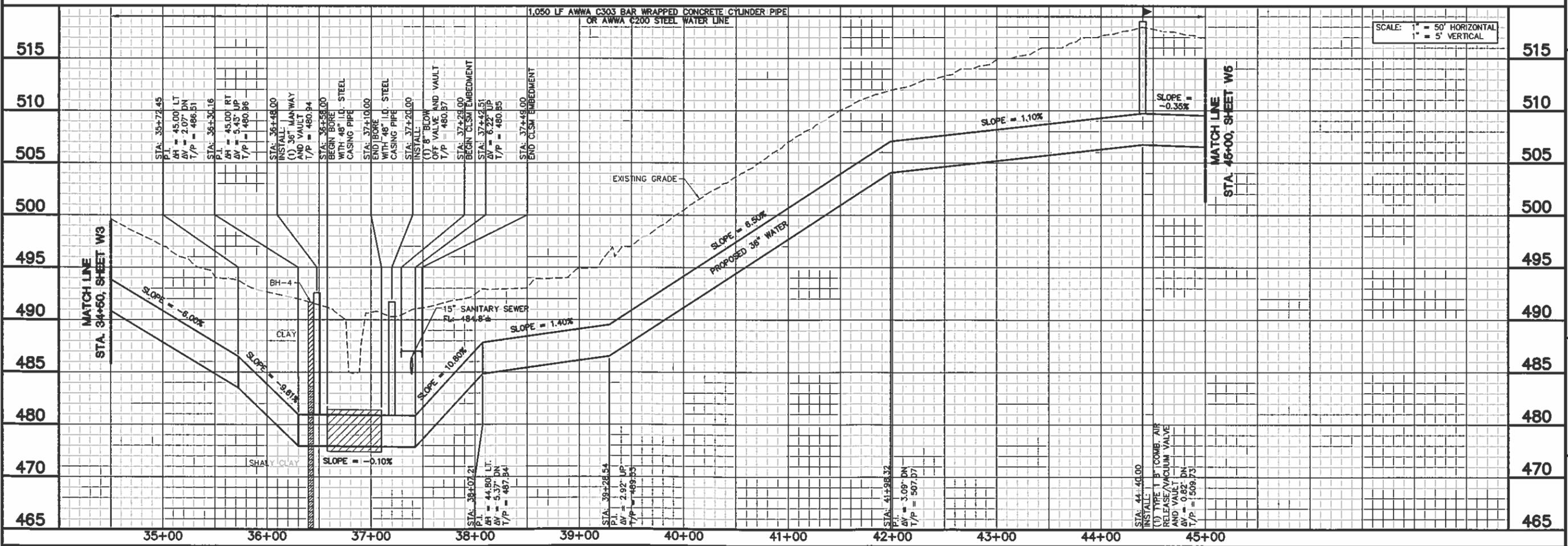
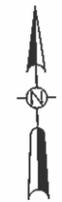
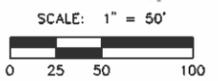
NORTH TEXAS MUNICIPAL WATER DISTRICT	
"WYLIE-ROCKWALL-FARMERSVILLE 36/48-INCH PIPELINE IMPROVEMENTS, PHASE 1"	
PROJECT NO.: 337	PARCEL No.: 7
SURVEY: FRANCISCO DE LA PINA SURVEY ABSTRACT No. 688	
LOCATION: COLLIN COUNTY, TEXAS	
SUBJECT TRACT ACREAGE: 4.658 ACRES (CALC)	PAGE 6 OF 6
JOB NO. KHA_1415.00	DRAWN BY: SMP
DATE: 04/01/2015	CHK. BY: CTA
SCALE: 1" = 60'	

SHAUN MARVIN PIEPKORN
REGISTERED PROFESSIONAL LAND SURVEYOR
NO. 6432 TEXAS FIRM NO. 10106900



- NOTES:**
1. ANY OBJECT TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF PROPERLY.
 2. PIPELINE DIMENSIONS SHOWN ARE TO THE CENTER OF THE PIPE.
 3. DURING BLOWOFF VALVE ABANDONMENT, IF CONTRACTOR DAMAGES RIPRAP, HE SHALL BE RESPONSIBLE FOR RESTORING RIP RAP TO BETTER THAN OR EQUAL TO EXISTING CONDITION AT NO COST TO THE OWNER.
 4. CONTRACTOR SHALL PROVIDE BYPASS PUMPING AS NECESSARY FOR 15" SANITARY SEWER REPLACEMENT. RE: SPEC. 33 03 10. 20 LF OF REPAIR IS ANTICIPATED; NO ADDITIONAL PAYMENT WILL BE PROVIDED IF LINEAR FOOTAGE OF REPLACEMENT EXCEEDS 20 FT. BYPASS PUMPING SHALL BE CONSIDERED SUBSIDIARY TO THE "REMOVE AND REPLACE 15" SANITARY SEWER" BID ITEM. EXISTING 15" SEWER LINE IS RCP. PROPOSED 15" SEWER LINE SHALL BE PVC SDR-35 ASTM D3034. CONTRACTOR SHALL CONNECT EXISTING 15" RCP WITH PROPOSED PVC SEWER USING FLEXIBLE COUPLING ADAPTERS. EMBEDMENT SHALL BE PER 3/D1
 5. CONTRACTOR SHALL NOTIFY CITY OF WYLIE 72 HOURS PRIOR TO START OF BYPASS PUMPING.

COORDINATE TABLE		
30	N: 7059745.38 E: 2574217.44	STA 35+72.45 P.I. ΔH = 45.00' LT
31	N: 7059785.48 E: 2574258.94	STA 36+30.16 P.I. ΔH = 45.00' RT
32	N: 7059785.17 E: 2574276.78	STA 36+48.00 INSTALL: (1) 36" MANWAY AND VAULT RE: 3/D7
33	N: 7059785.00 E: 2574286.78	STA 36+58.00 BEGIN BORE WITH 48" I.D. STEEL CASING PIPE RE: 1/D5
34	N: 7059784.10 E: 2574338.77	STA 37+10.00 END BORE WITH 48" I.D. STEEL CASING PIPE RE: 1/D5
35	N: 7059783.93 E: 2574348.77	STA 37+20.00 INSTALL: (1) 8" BLOW OFF VALVE RE: 1/D7
36	N: 7059783.54 E: 2574371.28	STA 37+42.51 P.I. ΔH = 45.00' RT
37	N: 7059737.01 E: 2574416.23	STA 38+07.21 P.I. ΔH = 44.80' LT
38	N: 7059723.88 E: 2575048.88	STA 44+40.00 INSTALL: (1) TYPE 1 8" COMB. AIR RELEASE/VACUUM VALVE AND VAULT RE: 1/D5

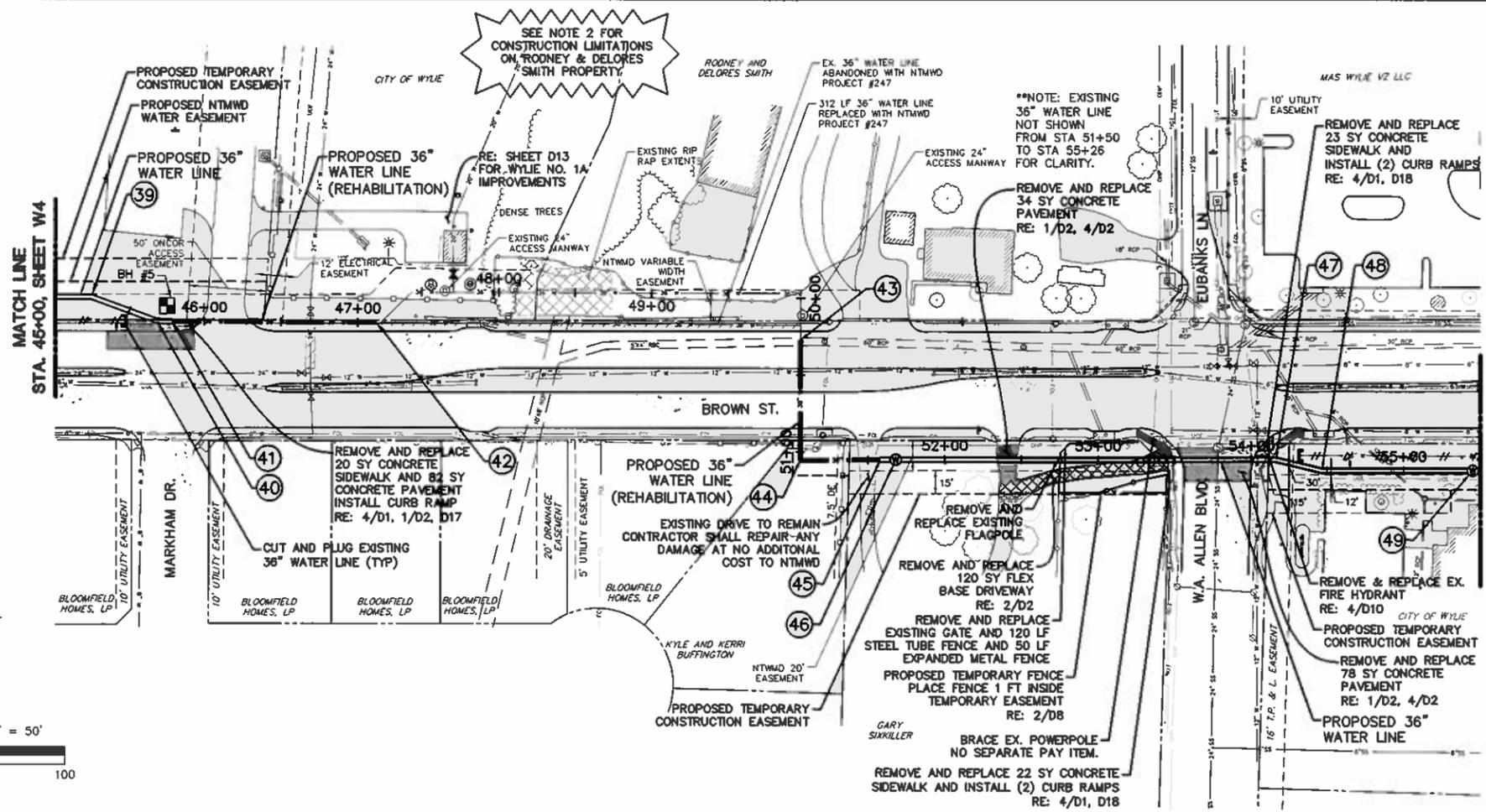


North Texas Municipal
Water District
WYLIE-ROCKWALL-FARMERSVILLE
36/48-INCH PIPELINE
IMPROVEMENTS, PHASE 1

36" WATER LINE
PLAN AND PROFILE
STA 34+50 TO 45+00

DATE: JUNE 2015
DESIGN: KSS
DRAWN: SAW
CHECKED: MAS
KHA NO.: 064309009

SHEET
W4



COORDINATE TABLE

POINT	NORTHING	EASTING	DESCRIPTION
39	N: 7059722.14	E: 2575132.77	STA: 45+23.91 P.I. ΔH = 20.11' RT
40	N: 7059705.76	E: 2575174.79	STA: 45+69.00 P.I. ΔH = 19.80' LT
41	N: 7059705.50	E: 2575184.78	STA: 45+79.00 = STA 44+73± CF 88-2 CONNECT TO EXISTING 36" AWWA C-303 WATER LINE BEGIN CFRP REHABILITATION RE: 1/09, 5/012, 33 99 99
42	N: 7059702.01	E: 2575317.95	STA: 47+12.21 = STA 46+06± CF 88-2 END 36" WATER LINE END CFRP REHABILITATION RE: 1/09, 33 99 99
43	N: 7059685.42	E: 2575594.50	STA 50+26.96 STA 34+12± - PROJECT 247 BEGIN 36" WATER LINE BEGIN CFRP REHABILITATION RE: 1/09, 33 99 99
44	N: 7059606.78	E: 2575592.44	STA 51+05.63 STA 49+71± - PROJECT CF 88-2 P.I. ΔH = 90.87' LT
45	N: 7059606.21	E: 2575644.80	STA 51+57.99 STA 50+24± CF 88-2 END CFRP REHABILITATION CONNECT TO EXISTING 36" AWWA C-303 WATER LINE BEGIN OPEN CUT REPLACEMENT P.I. ΔH = 0.48' RT RE: 2/09, 1/012, 33 99 99
46	N: 7059606.01	E: 2575654.81	STA 51+68.00 INSTALL: (1) 36" MANWAY AND VAULT RE: 3/07
47	N: 7059601.22	E: 2575902.52	STA 54+15.76 P.I. ΔH = 13.45' RT
48	N: 7059593.47	E: 2575932.38	STA 54+46.61 P.I. ΔH = 13.48' LT
49	N: 7059591.54	E: 2576030.75	STA 55+45 INSTALL: (1) 36" MANWAY AND VAULT

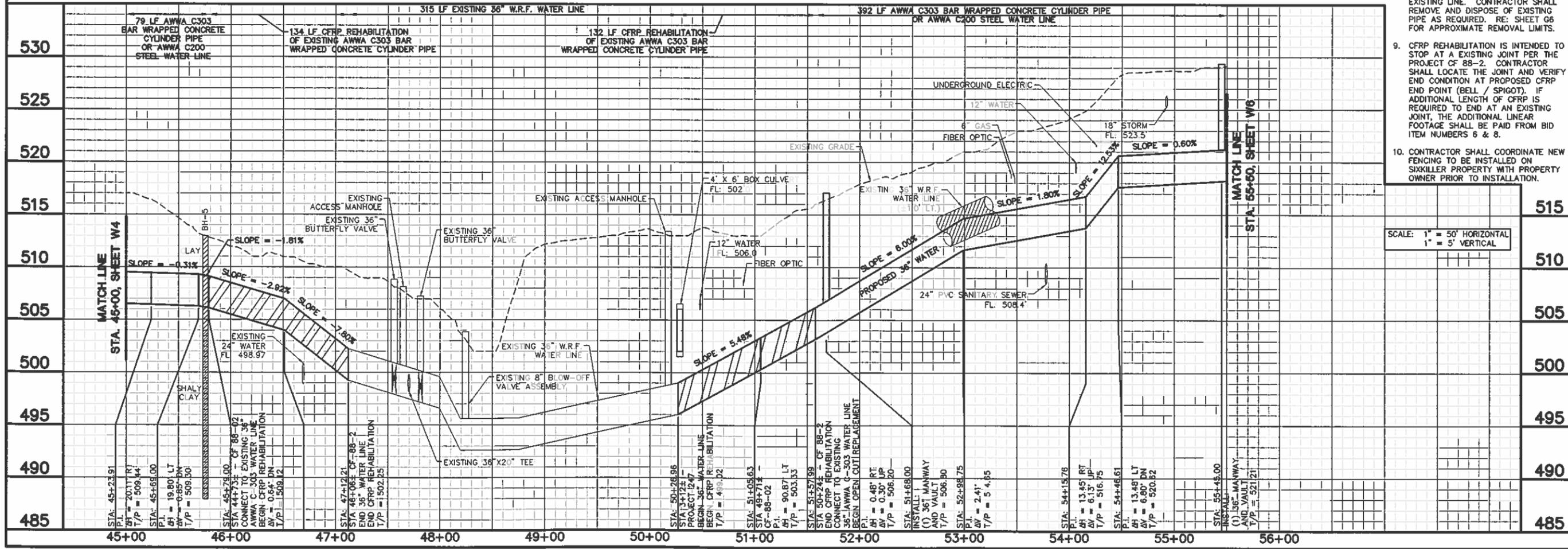
- NOTES:**
- ANY OBJECT TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF PROPERLY.
 - CONTRACTOR WILL ONLY BE ALLOWED ON RODNEY AND DELORES SMITH PROPERTY TO SETUP VENTILATION AT THE EXISTING 24" ACCESS MANWAY IF REQUIRED. NO OTHER CONSTRUCTION ACTIVITY WILL BE ALLOWED. RE: 6/09
 - PIPELINE DIMENSIONS SHOWN ARE TO THE CENTER OF THE PIPE.
 - CONTRACTOR SHALL MATCH STYLE, SIZE AND SPACING OF EXISTING FENCE AND FENCE POSTS. CONTRACTOR SHALL SUBMIT SHOP DRAWING OF FENCE TO ENGINEER PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL PROVIDE TEMPORARY FULL PIPE ACCESS POINT FOR CFRP REHABILITATION AT STA 45+79 & 51+57.99. ONLY ONE ISOLATION VALVE AT WYLIE 1A WILL BE ABLE TO BE UTILIZED AT ANY ONE TIME TO ISOLATE THE LINE DURING CFRP REHABILITATION. CONTRACTOR SHALL COORDINATE ACCESS POINT AND ISOLATION REQUIREMENTS WITH CFRP CONTRACTOR PRIOR TO CONSTRUCTION. ADDITIONAL ACCESS POINTS OR TEMPORARY PLUGS FOR CARBON FIBER REHABILITATION WILL BE ALLOWED IF DEEMED NECESSARY BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 - EXISTING UNDERGROUND ELECTRIC SERVICE BETWEEN STA. 54+25 AND 55+50 IS IN CLOSE PROXIMITY TO PROPOSED 36" WATER LINE. EXISTING UG IS TO BE PROTECTED THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING LINE AT NO ADDITIONAL COST TO THE OWNER IF DAMAGED DURING CONSTRUCTION.
 - ALL WORK ACROSS W.A. ALLEN BLVD. SHALL OCCUR OVER WEEKENDS ONLY. THIS ROAD WILL NOT ALLOWED TO BE CLOSED MON.-FRI. TEMPORARY PAVING SHALL BE IN PLACE BY 6 PM ON SUNDAY.
 - FROM PROPOSED STA 51+58 TO STA 54+31, THE PROPOSED PIPE WILL BE LAID IN THE SAME TRENCH AS THE EXISTING LINE. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING PIPE AS REQUIRED. RE: SHEET G6 FOR APPROXIMATE REMOVAL LIMITS.
 - CFRP REHABILITATION IS INTENDED TO STOP AT AN EXISTING JOINT PER THE PROJECT CF 88-2. CONTRACTOR SHALL LOCATE THE JOINT AND VERIFY END CONDITION AT PROPOSED CFRP END POINT (BELL / SPIGOT). IF ADDITIONAL LENGTH OF CFRP IS REQUIRED TO END AT AN EXISTING JOINT, THE ADDITIONAL LINEAR FOOTAGE SHALL BE PAID FROM BID ITEM NUMBERS 6 & 8.
 - CONTRACTOR SHALL COORDINATE NEW FENCING TO BE INSTALLED ON SIXKILLER PROPERTY WITH PROPERTY OWNER PRIOR TO INSTALLATION.

Kimley»Horn

North Texas Municipal Water District
WYLIE-ROCKWALL-FARMERSVILLE
36/48-INCH PIPELINE
IMPROVEMENTS, PHASE 1

DATE: JUNE 2015
DESIGN: KSS
DRAWN: SAW
CHECKED: MAS
KHA NO.: 064305009

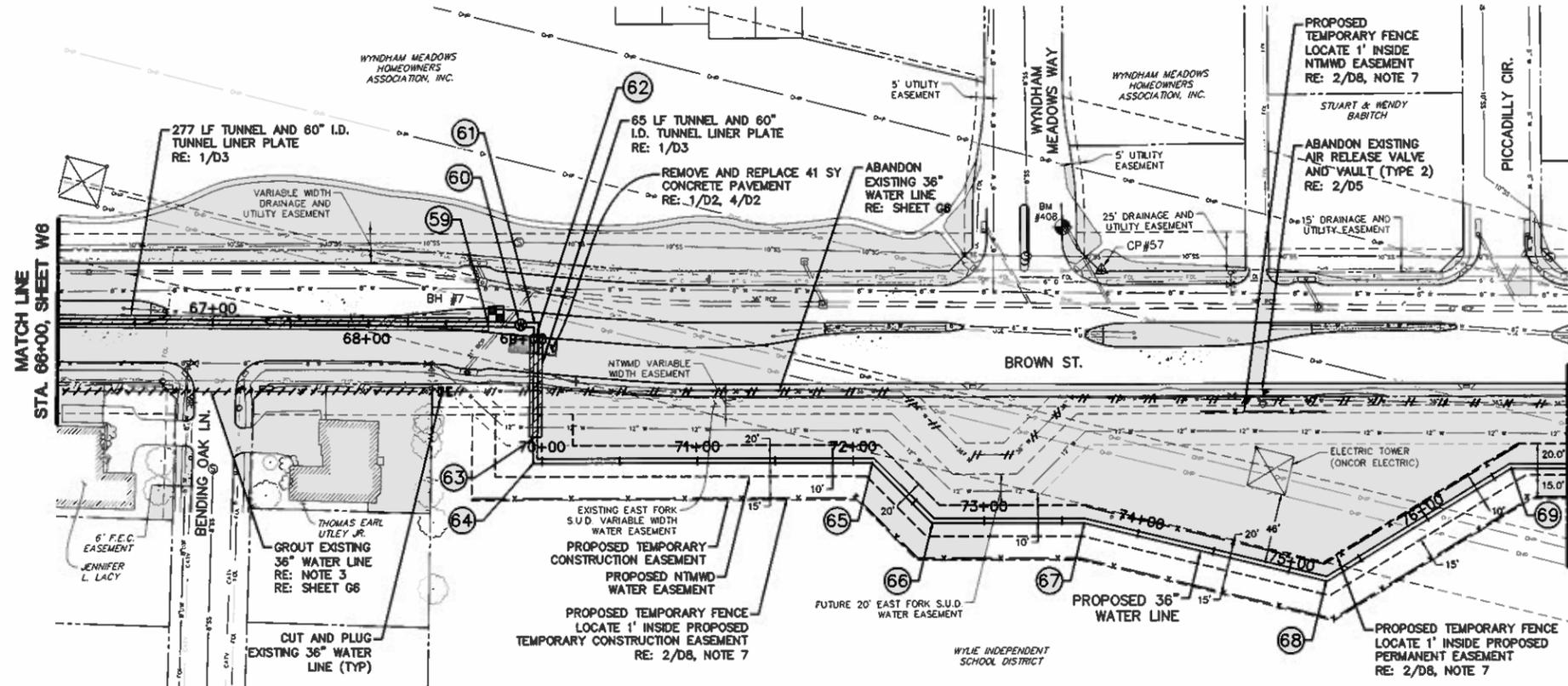
SCALE: 1" = 50' HORIZONTAL
1" = 5' VERTICAL



**36" WATER LINE
PLAN AND PROFILE
STA 45+00 TO 55+50**

W5

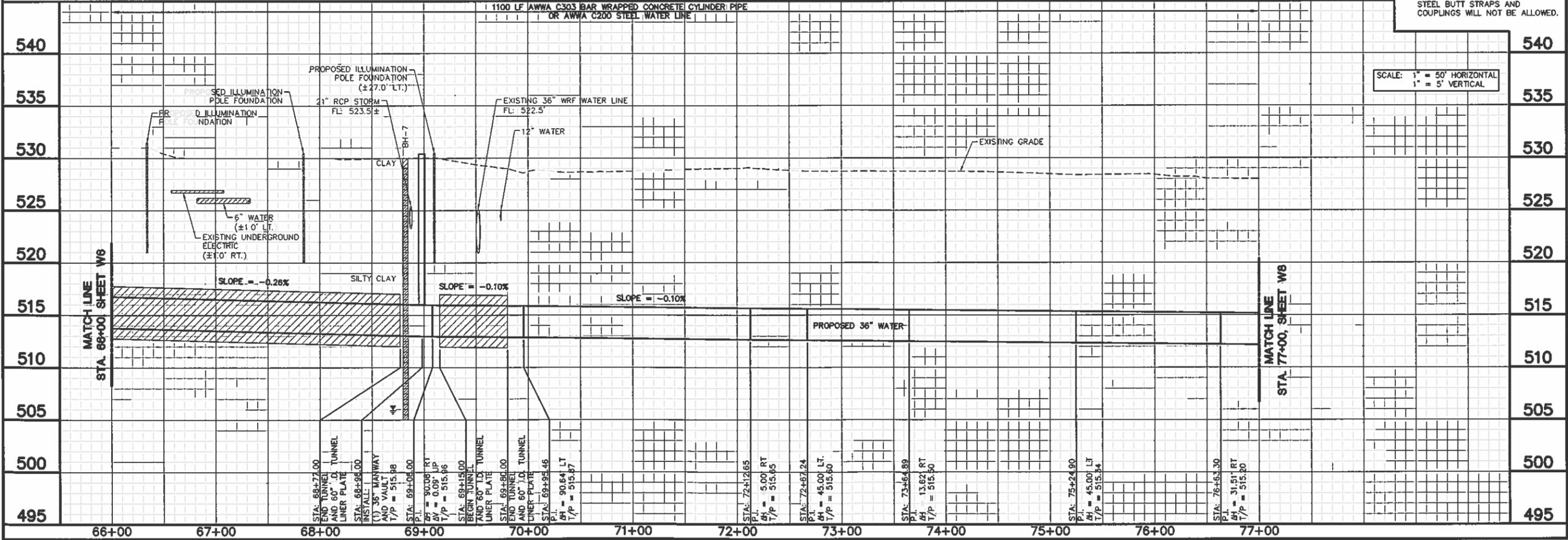
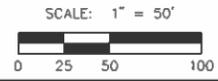
DATE: JUNE 2015
DESIGN: KSS
DRAWN: SAW
CHECKED: MAS
KHA NO.: 064305009



COORDINATE TABLE

POINT	NORTHING EASTING	DESCRIPTION
59	N: 7059617.34 E: 2577304.44	STA 68+77.00 END TUNNEL AND 60" I.D. TUNNEL LINER PLATE RE: 1/D3
60	N: 7059616.74 E: 2577325.44	STA 68+98.00 INSTALL: (1) 36" MANWAY AND VAULT RE: 3/D7
61	N: 7059616.46 E: 2577335.43	STA 69+08.00 P.I. ΔH = 90.08' RT
62	N: 7059609.46 E: 2577335.22	STA 69+15.00 BEGIN TUNNEL AND 60" I.D. TUNNEL LINER PLATE RE: 1/D3
63	N: 7059544.49 E: 2577333.29	STA 69+80.00 END TUNNEL AND 60" I.D. TUNNEL LINER PLATE RE: 1/D3
64	N: 7059529.03 E: 2577332.83	STA 69+95.46 P.I. ΔH = 90.64' LT
65	N: 7059524.98 E: 2577549.98	STA 72+12.65 P.I. ΔH = 45.00' RT
66	N: 7059485.66 E: 2577587.85	STA 72+67.24 P.I. ΔH = 45.00' LT
67	N: 7059483.84 E: 2577685.49	STA 73+64.89 P.I. ΔH = 13.62' RT
68	N: 7059443.26 E: 2577840.26	STA 75+24.90 P.I. ΔH = 45.00' LT
69	N: 7059513.10 E: 2577959.74	STA 76+63.30 P.I. ΔH = 31.51' RT

- NOTES:**
1. ANY OBJECT TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF PROPERLY.
 2. PIPELINE DIMENSIONS SHOWN ARE TO THE CENTER OF THE PIPE.
 3. THE EXISTING 36" WATER LINE SHALL BE ABANDONED, PLUGGED, AND FILLED WITH GROUT FROM STATION 66+00 TO STATION 70+84 AS SHOWN.
 4. LANDSCAPE RESTORATION WITHIN MEDIAN SHALL BE SOD. RE: SECTION 32 92 19
 5. CONTRACTOR SHALL BE REQUIRED TO NOTIFY ONCOR ELECTRIC BEFORE WORKING WITHIN THE T.P. & L. EASEMENT.
 6. CONTRACTOR SHALL BE REQUIRED TO NOTIFY EAST FORK SUD BEFORE WORKING WITHIN THE EAST FORK SUD EASEMENT.
 7. TEMPORARY FENCE SHALL BE INSTALLED BEFORE CONSTRUCTION OF THE 36" WATER LINE COMMENCES ON THE WYLIE ISD PROPERTY.
 8. ILLUMINATION POLE FOUNDATIONS SHALL BE INSTALLED IN THE MEDIAN FROM STA 55+28 TO STA 69+16. THESE LOCATIONS ARE NOT SHOWN ON THIS SHEET. RE SHEET D15 FOR LOCATION OF PROPOSED ILLUMINATION POLES AND SHEET G7 FOR INSTALLATION SEQUENCE.
 9. IF INTERMEDIATE TUNNEL SHAFT ACCESS POINTS ARE REQUIRED BETWEEN STATIONS 58+84 AND STATION 69+76 IT SHALL BE AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL AND PAVEMENT REPAIR REQUIRED TO INSTALL ACCESS POINTS AT NO ADDITIONAL COST. ACCESS POINTS ARE SUBJECT TO APPROVAL BY OWNER AND CITY OF WYLIE.
 10. WHERE MAKEUP PIECES ARE REQUIRED FOR CONSTRUCTABILITY, CONTRACTOR SHALL UTILIZE WELDED STEEL BUTT STRAPS. SPLIT STEEL BUTT STRAPS AND COUPLINGS WILL NOT BE ALLOWED.



SCALE: 1" = 50' HORIZONTAL
1" = 5' VERTICAL

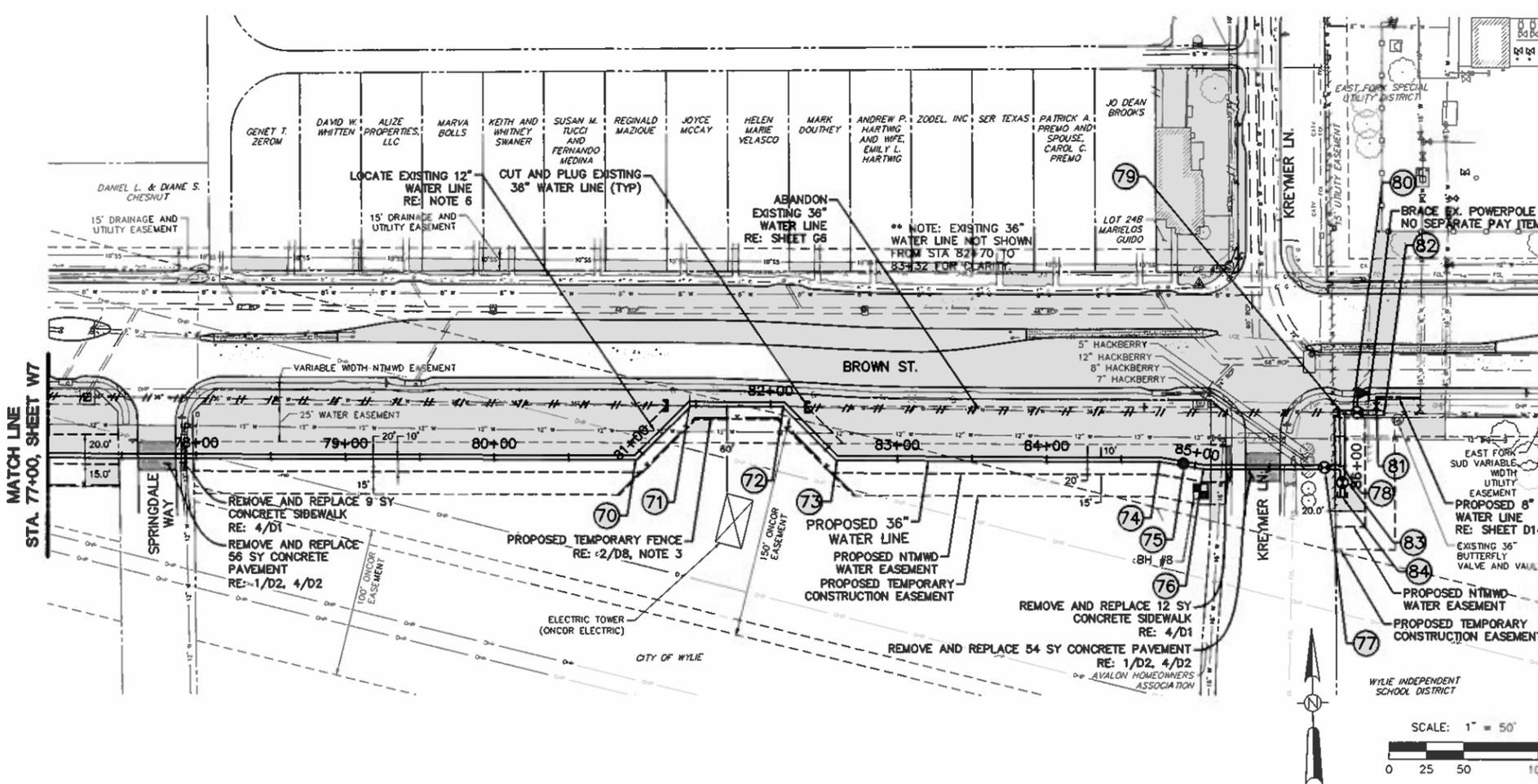
Kimley»Horn

North Texas Municipal Water District
WYLIE-ROCKWALL-FARMERSVILLE
36/48-INCH PIPELINE
IMPROVEMENTS, PHASE 1

DATE: JUNE 2015
DESIGN: KSS
DRAWN: SAW
CHECKED: MAS
KHA NO.: 064305009

36" WATER LINE
PLAN AND PROFILE
STA 66+00 TO 77+00

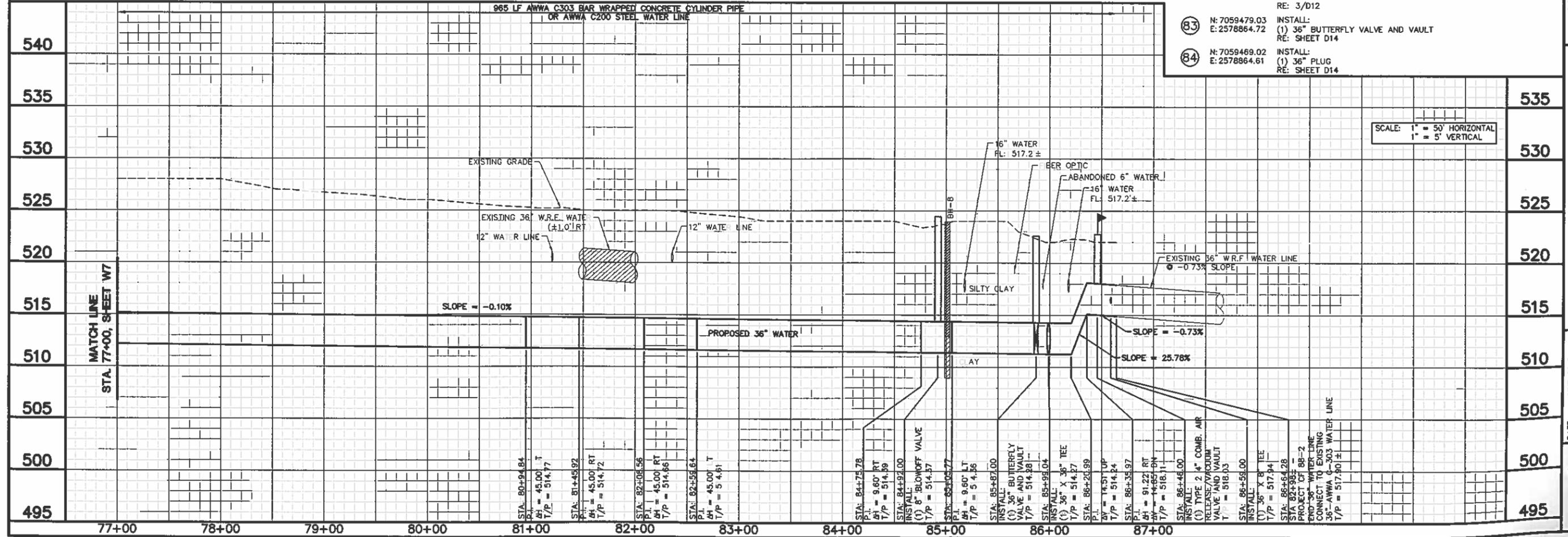
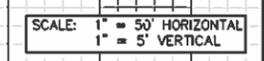
W7



COORDINATE TABLE

POINT	NORTHING EASTING	DESCRIPTION
70	N: 7059504.01 E: 2578391.19	STA 80+94.84 P.I. ΔH = 45.00' LT
71	N: 7059539.36 E: 2578428.06	STA 81+45.92 P.I. ΔH = 45.00' RT
72	N: 7059538.04 E: 2578490.69	STA 82+08.56 P.I. ΔH = 45.00' RT
73	N: 7059501.17 E: 2578526.04	STA 82+59.64 P.I. ΔH = 45.00' LT
74	N: 7059496.61 E: 2578742.13	STA 84+75.78 P.I. ΔH = 9.60' RT
75	N: 7059493.57 E: 2578758.06	STA 84+92.00 INSTALL: (1) 8" BLOWOFF VALVE RE: 1/D7
76	N: 7059490.99 E: 2578771.58	STA 85+05.77 P.I. ΔH = 9.60' LT
77	N: 7059489.28 E: 2578852.80	STA 85+87.00 INSTALL: (1) 36" BUTTERFLY VALVE AND VAULT RE: NOTE 4 RE: 5/D7
78	N: 7059489.03 E: 2578864.83	STA 85+99.04 INSTALL: (1) 36" X 36" TEE ΔH = 90.46' LT, ΔH = 89.54' RT RE: SHEET D14
79	N: 7059525.96 E: 2578865.25	STA: 86+35.97 P.I. ΔH = 91.22' RT
80	N: 7059525.63 E: 2578875.28	STA: 86+46.00 INSTALL: (1) TYPE 2 4" COMB. AIR RELEASE/VACUUM VALVE AND VAULT RE: 2/D5
81	N: 7059525.21 E: 2578888.27	STA 86+59.00 INSTALL: (1) 36" X 8" TEE RE: SHEET D14
82	N: 7059525.03 E: 2578893.54	STA: 86+64.28 STA 83+05 ± PROJECT OF 88-2 END 36" WATER LINE CONNECT TO EXISTING 36" AWWA C-303 WATER LINE RE: 3/D12
83	N: 7059479.03 E: 2578864.72	INSTALL: (1) 36" BUTTERFLY VALVE AND VAULT RE: SHEET D14
84	N: 7059469.02 E: 2578864.61	INSTALL: (1) 36" PLUG RE: SHEET D14

- NOTES:**
- ANY OBJECT TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF PROPERLY.
 - PIPELINE DIMENSIONS SHOWN ARE TO THE CENTER OF THE PIPE.
 - FROM PROPOSED STATION 81+46 TO STATION 82+09, THE PROPOSED PIPE WILL BE LAID IN THE SAME TRENCH AS THE EXISTING LINE. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING PIPE AS REQUIRED. RE: SHEET G6 FOR APPROXIMATE REMOVAL LIMITS.
 - ACCESS TO BUTTERFLY VALVE SEAT SHALL FACE WEST FOR BUTTERFLY VALVE AT COORDINATE 78. ACCESS TO BUTTERFLY VALVE SEAT SHALL FACE NORTH FOR BUTTERFLY VALVE AT COORDINATE 84.
 - ABANDONED ASPHALT ROAD ON THE EAST SIDE OF KREYMER AFFECTED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY SEEDING THE AFFECTED AREA.
 - CONTRACTOR SHALL LOCATE THE 12" WATER LINE AT PROPOSED STA 81+20 AND 82+35 AND SUBMIT LOCATION AND DEPTH TO ENGINEER BEFORE PIPE LAY SCHEDULE IS SUBMITTED.



Kimley Horn

North Texas Municipal Water District
WYLIE-ROCKWALL-FARMERSVILLE
36/48-INCH PIPELINE
IMPROVEMENTS, PHASE 1

DATE: JUNE 2015	DESIGN: KSS	DRAWN: SAW	CHECKED: MAS	KHA NO: 064305009
SHEET				
W8				

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Wylie City Council

AGENDA REPORT

Meeting Date: August 11, 2015
Department: Human Resources
Prepared By: Lynn Fagerstrom
Date Prepared: August 4, 2015

Item Number: I
(City Secretary's Use Only)
Account Code: _____
Budgeted Amount: _____
Exhibits: _____

Subject

Consider, and act upon, proposals for employee group health insurance, including major medical, dental, term life, accidental death/dismemberment, long term disability and prescription drug coverage.

Recommendation

Motion to accept a proposal from Aetna for fiscal 2016 medical, dental, vision and prescription drug coverage under our current broker, The Wylie Insurance Agency. Accept a renewal of long-term disability and life insurance coverage from Lincoln National, under our current broker, The Wylie Insurance Agency.

Discussion

Requests for Proposals were sent to United Healthcare (current provider), Aetna, Cigna, Blue Cross/Blue Shield and Humana. The Wylie Insurance Agency presented several renewal options for medical insurance. Staff is recommending a change to Aetna for our medical, dental, vision, Employee Assistant Program and Flexible Spending Account.

Differences between the proposed United Healthcare medical plan and Aetna medical plan are included on the attached spreadsheet. All differences are positive on the side of Aetna with the exception of the removal of free doctor office co-pays for dependents under the age of 19 and emergency room visits that will now be subject to the deductible. Please reference the attached spreadsheet for full details. Including Aetna's additional positive features, the premium is 4.2% over the FY2015 United Healthcare rates. United Healthcare initially submitted a 19% increase and was negotiated down to 7.2%.

Aetna's dental plan is identical to the current United Healthcare plan with one exception: the maximum allowed dental benefit increases to \$2,000.00 per year from \$1,500.00 per year for United Healthcare. The premium is lower than the FY2015 United Healthcare premium by 4%.

Lincoln Finance Services, represented by The Wylie Insurance Agency, is renewing both life and long term disability coverage.

Life: There is no change in the life insurance renewal.

LTD: We have three open LTD claims, resulting in a 173% loss ratio last year. The LTD cost increase is \$445.24/month.

NEW RATES EFFECTIVE 10/1/15 WITH AETNA

4.2% INCREASE OVER FY2015

UHC Current			Aetna 10/1/15-9/30/16	
Per Employee	Per Month		Per Employee	Per Month
\$568.16	\$71,020.00	Employee	\$592.02	\$74,002.84
\$1,431.77	\$14,317.70	Employee + spouse	\$1,491.90	\$14,919.04
\$960.20	\$48,970.20	Employee + children	\$1,000.53	\$51,026.95
\$1,511.34	\$83,123.70	Family	\$1,574.82	\$86,614.90
Monthly Premium:	\$217,431.60			\$226,563.73

FY2016 Insurance Comparison



UnitedHealthcare

Product	Medical	Medical
Doctor Office Copay	\$30	\$30
Specialist Office Copay	\$30	\$60
Copay for Child(ren) under 19	\$30	\$0
Emergency Room	Requires Deductible, \$300 Copay after the deductible is met	\$300 Copay (\$695 Copay proposed for FY2016)
Urgent Care Center	\$75	\$75
Annual Deductible (January-December)	\$2,000	\$2,000
Maximum Annual Out of Pocket	\$3,500	\$3,500
Prescriptions	\$15/30/65	\$15/30/65
Mail Order Prescriptions	2x Retail	2.5x Retail
Employee Gift for Taking the Annual Wellness Survey	50 + additional education requirement	\$75
White Glove Program, home visit by a nurse practitioner in lieu of an ER visit	Included, fee is \$30	Not Available
Teladoc, doctor consultation via phone for limited issues and prescriptions can be ordered via phone	Included, fee is \$38 or less depending on the service provided	Begins 1/1/16
Product	Dental	Dental
Annual Deductible	\$50	\$50
Coverage for Preventive Dental Visits	100%	100%
Coverage for Basic Services	80%	80%
Coverage for Major Services	50%	50%
Annual Maximum Paid by Insurance Company	\$2,000	\$1,500
Ortho Maximum Paid by Insurance Company (total)	\$1,500	\$1,500
Ortho Eligibility	Up to age 19	Up to age 19
Product	Employee Assistance Program	Employee Assistance Program
Eligibility	All employees, full-time and part-time	Employees enrolled in Medical
Unlimited Phone Counseling Access	Included	Included
In-Office Counseling	Designated sessions are per issue per plan year	3 face-to-face sessions per year (not per issue)
Worklife	Online worklife; phone consultation worklife option available	Online worklife
Legal and Financial Consultation	Included	Included
Identity Theft Protection Program	Included	Not included
Phone Management Consultation for Employee Issues	Included	Included
Onsite Critical Incident Services	Unlimited Critical Incident Services (Up to 10 hours per incident).	Not included
Employer Referrals, City can request services	Included	Not included
Phone Support Representative	800 number assigned to group	Generic phone number
Website	Customized website, with group specific User ID and password	Generic website access
Product	Flexible Spending Account	Flexible Spending Account
FSA debit card	Included	Included
Product	COBRA Administration	COBRA Administration
Notice of continuation of insurance mailed to former employee upon termination of employment	Included	Included
Collection of payments by Aetna, no City risk	Included	Included
Administration fee	2% to Aetna	2% to the City of Wylie

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aetnaSM

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WHAT'S NEXT?

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A welcome kit will be mailed to your home with instructions to get started with Teladoc. Once you receive your welcome kit:

- 1 Follow the instructions in the welcome kit to set up your account.
- 2 Complete your medical history and set up eligible dependents.
- 3 Request a consult online or by phone.

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02/2013



Acute Care

Our team of Nurse Practitioners will visit your home or office and provide the primary care services you may normally go to a doctor's office or urgent care to handle. If you require generic prescriptions, we may be able to provide them as part of your visit. Our Registered Nurses will also follow up to check your progress. Some of the most common things we see our members for include:

- Ear aches
- Seasonal allergies
- Upper-respiratory infections
- Minor skin infections
- Urinary Tract Infection (UTI)
- Cough and cold

MyHealth Member Portal

With WhiteGlove Health, you have access to one of the most state of the art systems for managing your health. From there, you can:

- View visit history and manage appointments
- View lab results
- View Rx medications



Visit Fee

You pay your specialist co-pay (but no more than \$35) or \$35 for each visit until your deductible and maximum out-of-pocket requirements have been met. You then pay \$0 for WhiteGlove visits. The visit fee does not include brand name Rx medications, non-generic Rx medications or lab tests – they are processed through your health insurance plan at the plan's negotiated rates.



Think Differently About Healthcare.

At Work. At Home. Online. On the Phone.



Wylie City Council

AGENDA REPORT

Meeting Date: August 11, 2015
Department: Planning
Prepared By: Renaë' Ollie
Date Prepared: August 4, 2015

Item Number: 1
(City Secretary's Use Only)
Account Code: _____
Budgeted Amount: _____
Exhibits: 5

Subject

Hold a Public Hearing and consider, and act upon a change in zoning from Agricultural-30 (AG/30) to Planned Development-Single-Family (PD-SF), to allow for residential uses of varied densities on approximately 45 acres, generally located west of E. Stone Road and approximately 2,100 feet south of Brown Street.. **ZC 2015-08**

Recommendation

Motion to approve a change in zoning from Agricultural-30 (AG/30) to Planned Development-Single-Family (PD-SF), to allow for residential uses of varied densities on approximately 45 acres, generally located west of E. Stone Road and approximately 2,100 feet south of Brown Street.. **ZC 2015-08**

Discussion

Owner: Cross Country Villas, LLC & Dot Marie Kreymer Applicant: Amalgamated Properties, LLC

The applicant is requesting to establish permanent zoning on approximately 45 acres of land annexed into the city in April 2014. The subject property shall be developed in accordance with attached planned development conditions to accommodate a single family residential community of varied densities.

The conditions of the Planned Development (Exhibit "B") outline the regulations for the subject property.

Single-family residential units (PD-SF) with minimum lot sizes of 7,200 sf, with 60' widths. Lots along the northern and southern property line will have an average lot size of 8,090 sf. Lots along the western boundary line will have an average lot size of 10,105 sf (Exhibit "C" Concept Plan).

Dwelling sizes range from a minimum of 1,750 sf to 2,400 sf or greater, with 30% being 2,400 sf or greater. Maximum number of lots not to exceed 160 lots.

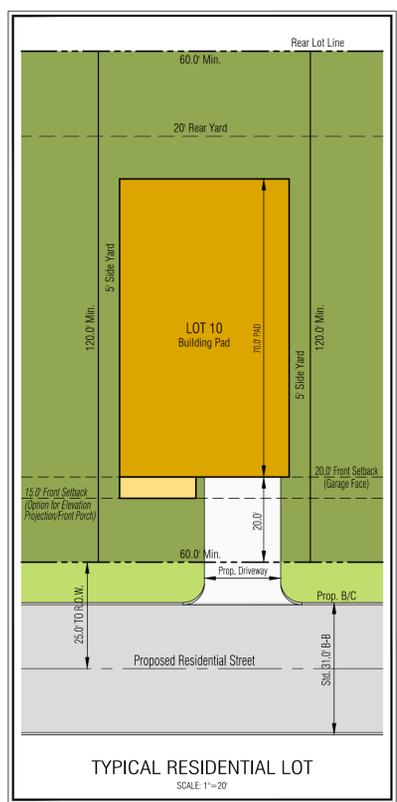
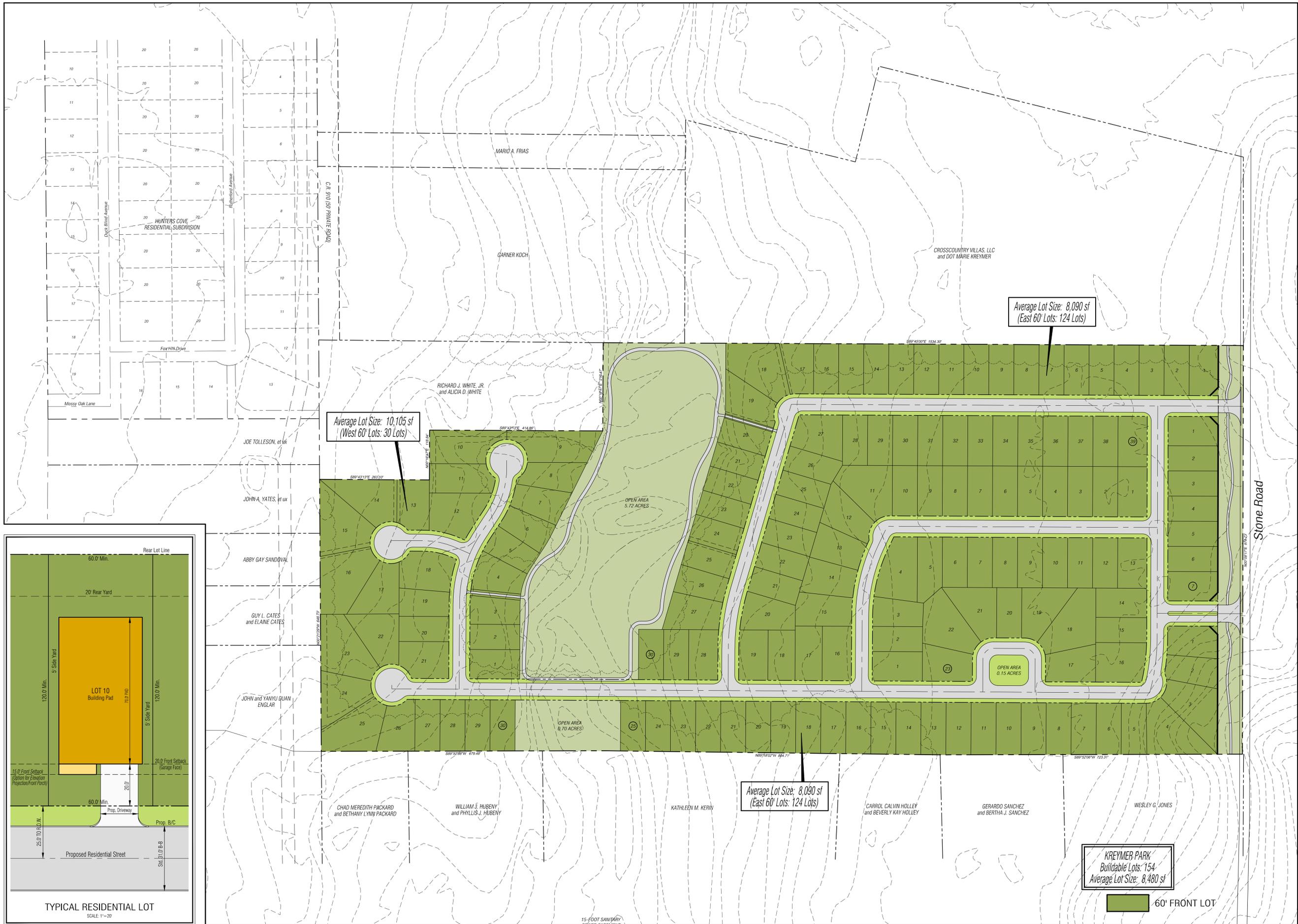
Maintenance of the park area will be the responsibility of the HOA. All lots that back onto park land shall provide decorative black metal fencing of uniform design, to be installed by the homebuilder.

The Parks Board considered the dedication and park improvements per the attached Exhibit "P" and recommended approval on July 13, 2015.

Notification/Responses: Thirteen (13) notifications were mailed; with three (3) written responses returned favoring the request and one (1) response opposing the request at the time of posting.

PLANNING & ZONING COMMISSION DISCUSSION:

This item was originally considered by the Commission at its July 21st meeting. The Commission rejected the minimum 6,000 sf lots and recommend that the minimum lot size be 7,200 sf. The applicant has made that adjustment and included average lot sizes of 8,000 sf and eliminated the 6,000 sf lots. Lot width is a minimum 60'. The Planning and Zoning Commission voted 6-0 to recommend approval.

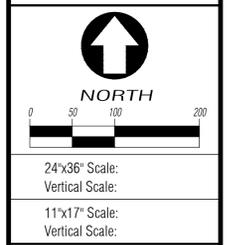


dietz engineering
F-5049
CIVIL ENGINEERING • SURVEYING
PHONE: 972.889.9977
FAX: 972.889.9993
205 S. Alma Drive
Allen, Texas 75013



DATE SIGNED:
BENCHMARKS:
BM #1:
X
X
X
ELEVATION: X
BM #2:
X
X
X
ELEVATION: X

Concept Plan - 45.57 Acre Residential Subdivision
KREYMER PARK
Francisco La Pina Survey, Abst. No. 688
Collin County, City of Wylie, Texas



Project No.: E-AD-001
Issue Date: July 22, 2015
Sheet Title:
Concept Plan
Sheet No.:
C1.1

EXHIBIT "B"
CONDITIONS FOR PLANNED DEVELOPMENT
ZONING CASE No. 2015-08
45.57 Acre Tract

I. GENERAL CONDITIONS:

1. This planned Development District shall not affect any regulations within the Code of Ordinances, except as specifically provided herein.
2. All regulations of the Single Family 10 District (SF-10) set forth in Article 3, Section 3.2 of the Comprehensive Zoning Ordinance (adopted as of May 2011) are hereby replaced with the following:

Figure 3-4 – Planned Development- Single Family (PD-SF)	
Lot Size (Minimum):	
Lot Area (sq. ft.)	7,200
Lot Width (feet at the Building Line)	60
Lot width of corner Lots (feet)	70
Lot Depth (feet)	120
Yard Requirements – Main Structures	
Front Yard (feet)	20 (Garage Face) 15 (Optional Elevation Projection/ Covered Front Porch)
Side Yard (feet)	5
Side Yard of Corner Lots (feet)	15
Rear Yard (feet)	20
Lot Coverage	60%
Dwelling Regulations (Minimum Square Footage)	
10% of the lots	1,750 or greater
30% of the lots	1,850 or greater
30% of the lots	2,000 or greater
30% of the lots	2,400 or greater
Height of Structures	
Main Structure (feet)	40
Accessory Structure (feet)	14

II. SPECIAL CONDITIONS:

1. Maximum number of residential lots not to exceed 160 lots.
2. Architectural dimensional shingles having a minimum thirty (30) year warranty shall be required.
3. No alleys shall be required within the property.
4. Lots which back onto park land shall provide decorative black metal fencing of uniform design to be installed by the homebuilder, as approved by the Planning Department.
5. Existing trees greater than 6 inch caliper within the flood plain shall be protected in accordance with City's Tree Preservation Plan.
6. Open space, drainage & floodway easements, and public hike & bike trails shall be dedicated to the City of Wylie in accordance with City's Subdivision Regulations.
7. City of Wylie shall provide the water meters and the meter readers for Irrigation services in common areas. Where power is provide in the common area by the City of Wylie, irrigation controller will be ET based.
8. Lots adjacent to the property currently owned by Richard J. and Alicia D. White at the northwest corner of the subject tract shall be restricted to one story dwellings.
9. **Maintenance of the Park Area**
Maintenance of the park area will be the responsibility of the homeowners' association (HOA).
 - A. HOA maintenance and responsibilities of amenities include:
 - a. Clean up and litter removal.
 - b. Landscaping installation, care, and maintenance.
 - c. Trimming, clearing, and removal of unwanted vegetation as determined by the City Park Division.
 - d. Maintain irrigation system and test all backflow devices annually as per City requirements.
 - e. Maintain playground equipment, pavilion, benches, tables, concrete trail, and any other installed improvements, per Exhibit "P". Coordinate with the City Park Department prior to the replacement or removal of any improvement for consistency with City Park standards.
 - f. Maintain slopes and topography to prevent erosion.
 - B. City responsibilities of amenities include:
 - a. Perform playground safety inspections by qualified personnel.
10. All Park Amenities as described in Exhibit 'P' and as approved by the City Parks Department, shall be installed prior to the issuance of a Certificate of Occupancy.

IV. DESIGN CONDITIONS:

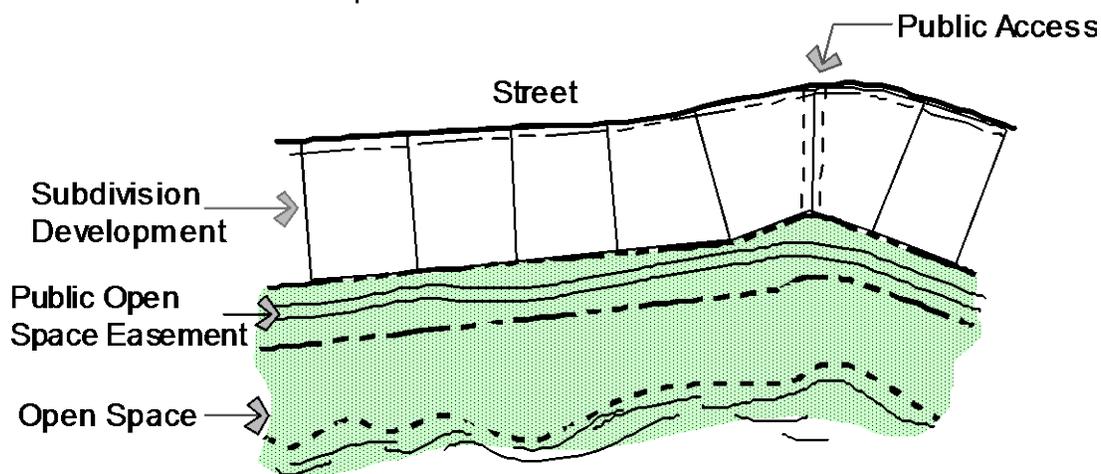
A. Land Design Standards – New Residential Requirements

Desired Land Design requirements are achieved by projects in accordance with Exhibit “P” and the following criteria:

1. Provision of Public Pathways - Public Open Space

a. Base Standard

- (1) Trail shall be constructed to the City’s standards. Open space parkland shall be in accordance with Exhibit “P” as adopted by this ordinance.
 - (a) 8’ Hike & Bike Trail, with 5’ in front of dwellings, achieving link in city trail system.
 - (b) 6’ and 8’ hike and bike trails per Exhibit “P”.
 - (c) Provide benches per Exhibit “P”.
 - (d) Trees along Stone Road per Exhibit “P”.
- (2) The public pathway system easement(s) shall be connected along existing or planned utility rights-of-way and/or public property lines to any existing or planned public trail system on abutting land. Locate the public open space easement to provide for future connections to be made by others across intervening property to any existing or planned public trail system on land that does not abut the development.



b. Desirable Design Attributes

None.

2. Provision of Public Pathway – Perimeter Walkways and Landscape

a. Base Standard

- (1) Per Exhibit “P” and coordinate improvements of Stone Road with the City of Wylie.
- (2) Landscaping and Tree Preservation shall be in accordance with City’s Tree Preservation Plan

The following trees and shrubs are recommended for landscaping and screening purposes:

1. Large Trees:
 - Pecan
 - Burr Oak
 - Southern Magnolias
 - Bald Cypress
 2. Small Trees:
 - Yaupon Hollies
 - Wax Myrtle
 - Red Bud
 - Cedar Elm
 3. Evergreen Shrubs:
 - Red Tip Photinia
 - Nellie R. Stevens
 - Yaupon Holly
 - Nandinnia
 - Japanese Ligustrum
 - Abelia
 - Barberry
 - Honeysuckle
 - Boston Ivy
 - Monkey Grass
 - Vinca
 - Ophia Pogon
 - Purple Sage
- | |
|---------------------|
| Red Oak |
| Water Oak |
| Live Oak |
| Bradford Pear |
| Crape Myrtle |
| Cherry Laurel |
| Japanese Black Pine |
| Burford Holly |
| Chinese Holly |
| Clearra |
| Dwarf Crape Myrtle |
| Waxleaf Ligustrum |
| Junipers |
| Asian Jasmine |
| English Ivy |
| Liriope |
| Virginia Creeper |
| Mondon Grass |
| Elaeagnus |
| Pistachio |

The following trees are discouraged for landscaping and screening purposes:

- | | |
|--------------|--------------|
| Silver Maple | Hackberry |
| Green Ash | Arizona Ash |
| Mulberry | Cottonwood |
| Mimosa | Syberian Elm |
| American Elm | Willow |
| Sycamore | |

b. Desirable Design Attributes

None

3. Lighting and Furnishings Along Open Space, Easements and Trails

a. Base Standard

- (1) On open space easements, public walkways and trails provide: per Exhibit "P"
- (2) Benches with backs installed per Exhibit "P"
- (3) Stamped colored paving and cross-walks at street connectors.
- (4) 7 ft wide at interior street connectors per Exhibit "P"

b. Desirable Design Attributes

- (1) 3 Benches, 4 Picnic Tables, 1 Pavilion Shelter, 3 Trash Cans and 3 Dog Stations, per Exhibit "P", to be coordinated with Parks Department.
- (2) 8' wide decorative paving crossing at main entry;

B. Street and Sidewalk Standards – New Residential Requirements

Desired street and sidewalk requirements are achieved in accordance with the following criteria:

1. Street Treatments – Entry Features and Signage at Entries

a. Base Standard

Architectural features on stone and brick monument with landscaping and incorporated into open space area and illuminated by means other than street lights.

b. Desirable Design Attributes

Decorative black metal fencing panels or 2 or more different type/color of stone (can be synthetic or cultured).



2. Street Treatments – Street Name Signs

a. Base Standard

Block numbers shall be incorporated with street lighting that is coordinated throughout the subdivision.

b. Desirable Design Attributes:

None

3. Street Treatments – Pedestrian Crosswalks

a. Base Standard

All crosswalks within a Residential development are to be 7 feet wide at trail crossings and must connect to a pedestrian sidewalk system of stamped colored paving with pedestrian ramps complying with the American with Disabilities Act, to provide a clear, continuous pedestrian and circulation system throughout a subdivision.

b. Desirable Design Attributes:

Provide 8 ft. wide, connected system of stamped colored paving at Trail Crossing at Main Entry.

4. Pedestrian Sidewalks - Sidewalk Locations

a. Base Standard

4 feet wide concrete pedestrian sidewalks shall be located on both sides of the street, in the right-of-way of every internal street.

b. Desirable Design Attributes:

None

5. Mail Boxes

a. Base Standard

Mail boxes shall be paired at the lot line where applicable and shall provide number plaque and brick to match the resident.

b. Desirable Design Attributes:

Black metal ornamental dual box.

6. Pedestrian Sidewalks - Sidewalk Lighting

a. Base Standard

Decorative street lighting shall be provided along residential streets throughout all Residential Developments with spacing ranging from 250 feet to 350 feet between lights placed on alternating sides of the street. A Street Lighting Plan must be submitted to the City Engineer for approval. The City Engineer is authorized to alter the distance requirement if needed in an effort to achieve the best lighting arrangement possible.



b. Desirable Design Attributes:

None

7. Perimeter Alleys

a. Base Standard

No Alleyways are required for the subdivision.

b. Desirable Design Attributes:

None

8. Driveways

a. Base Standard

Driveways shall be installed per City of Wylie Standard Details and Specifications.

b. Desirable Design Attributes:

Driveways shall be exposed aggregate or salt finish concrete.

C. Architectural Standards – New Residential Requirements

1. Building Bulk and Articulation

a. Base Standard

In order to avoid large blank facades, variations in the elevation of residential facades facing a public street shall be provided in both the vertical and horizontal dimensions. At least 10 percent of the façade shall be offset a minimum of 2 feet either protruding from or recessed back from the remainder of the façade.

b. Desirable Design Attributes:

None

2. House Numbers

a. Base Standard

All single family residential units shall have lighted front stone wall plaque with resident address beside the main entry of the dwelling unit.

b. Desirable Design Attributes:

None

3. Exterior Façade Material

b. Base Standard

All single family residential units shall have a minimum of eighty (80) percent of the exterior facade composed of kiln-fired clay brick, masonry stucco or stone excluding windows, doors and other openings. Glazing shall not exceed twenty-five (25) percent of the front elevation of the residence. Dormers, second story walls or other elements supported by the roof structure may be composite masonry materials if approved by the Building Official as having the same durability as masonry or stone and when offset at least six (6) inches from the first floor exterior wall(including hardi/LP Equivalent materials). Wood, vinyl siding and EIFS materials shall not be used for exterior walls.

c. Desirable Design Attributes:

None

4. Exterior Facades – Covered Entranceway

a. Base Standard

Each single family residential unit shall have a covered entranceway of 20 square feet or more..



b. Desirable Design Attributes:

50 square feet or larger front entry, or connected wrap-around on two or more sides, or pitched cover incorporated into the roof line of the house.

5. Exterior Facades - Chimneys

a. Base Standard

Chimney flues may be directed vented. If a chimney is built, fireplace chimneys are to be enclosed with a stone veneer and capped.

b. Desirable Design Attributes:

None.

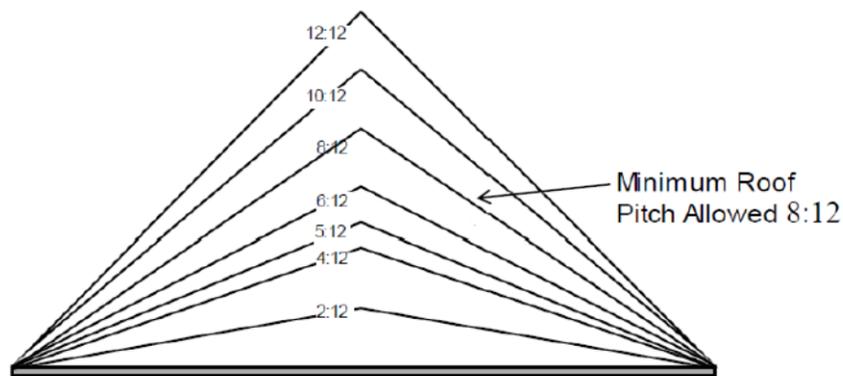
6. Roofs and Roofing - Roof Pitch

a. Base Standard

All single family residential units shall have a minimum roof pitch of 6:12. Front elevations shall include shall be 8:12 for architectural gables. Dormers or porch areas may be minimum roof pitches of 4:12.

b. Desirable Design Attributes:

8:12 minimum roof pitch except for dormers and porches.



7. Roofs and Roofing - Roofing Materials

a. Base Standard

All single family residential units shall have a minimum 25 year shingle. Wood shingles are not permitted. Plumbing vents, attic vents, and other rooftop accessories are to be painted to match the roof shingle color.

b. Desirable Design Attributes:

Architectural dimensional shingles having a minimum 30 year warranty

8. Roofs and Roofing - Roof Eaves

a. Base Standard

No wood fascia or soffits are permitted.



b. Desirable Design Attributes:

None

9. Repetition of Residential Unit Designs – Repetition of Floor Plan and Elevation

a. Base Standard

A minimum of five (5) platted residential lots must be skipped on the same side and three (3) lots must be skipped on the opposite side of a street before rebuilding the same single family residential unit with an identical (or nearly identical) street elevation design. The same floor plan shall not be repeated on neighboring, side by side lots or directly across the street.

b. Desirable Design Attributes:

None

10. Garage Entry

a. Base Standard

Garage doors can be located on the primary street elevation of a single family residential unit with wood grain look insulated door with carriage hardware. The primary street would be the addressed street front. Garages may face the street on a corner lot side yard. Each garage shall be a minimum of 400 square feet.



b. Desirable Design Attributes:

Garage door openers.

11. Dwelling Size

a. Base Standard

The minimum square feet of floor space shall be (10%) of the houses 1,750 s.f. , (30%) of the houses 1,850 s.f. , (30%) of the houses 2,000 s.f. , (30%) of houses 2,400 s.f. or greater measured within the outside dimensions of a residential dwelling unit including each floor level, but excluding carports, garages, and breezeways.

12. Fencing

a. Base Standard

- (1) Front yard fences (if provided) shall be permitted to a height of 4 feet maximum with 50 percent transparency constructed of wood or tubular steel.
- (2) Side and rear yard fences (if provided) shall be permitted to a height of 6 feet maximum and constructed of wood with metal posts and rails to the inside.
- (3) Pressure treated wood is prohibited.
- (4) Fences shall be constructed of tubular steel next to open space, and shall be maximum 6 ft in height.

b. Desirable Design Attributes

All wood fencing shall be stained a uniform cedar color as determined by the H.O.A.

13. Landscaping

a. Base Standard

- (1) Each residential dwelling shall have sodded front, side, and rear yard with a minimum of 2 trees and 5 shrubs in front yard.
- (2) All landscaped areas must be kept in a healthy and growing condition. Any plant materials that die during a time of year where it is not feasible to replant shall be replaced as soon as possible.

b. Desirable Design Attributes

Each residential dwelling unit shall have an automated, subsurface irrigation system.

14. Outdoor Lighting

a. Base Standard

All residential dwelling units shall have an illuminated porch light at the front entry.

b. Desirable Design Attributes

Additional exterior lighting at the garage door Garage illuminated by down-light (tree or house mounted) or up-light (house mounted).

EXHIBIT "B"

III. DESIGN REGULATION CHART:

A. Land Design Requirements

A. Land Design Requirements (In Accordance with Exhibit "P")		
ELEMENT	a. BASE STANDARD (ALL DEVELOPMENT MUST COMPLY FULLY WITH ALL LISTED BELOW)	b. DESIRABLE STANDARD (THE FOLLOWING DESIRABLES WILL BE ACHIEVED THROUGHOUT THE SUBDIVISION)
Public Open Space	a. Trail shall be constructed to the City's standards. b. 6 & 8 ft. hike & bike trail and open space improvements, per Exhibit "P". c. Provide benches per Exhibit "P". d. Trees along Stone Road.	
Perimeter Walkways and Landscape	Coordinate with City of Wylie	
Lighting and Furnishings along open space easements and trails	a. 4 Benches with backs per Exhibit "P". b. Decorative paving and cross-walks at street connections c. 7 ft at interior street connectors.	a. 3 Benches, 4 Picnic Tables, 1 Pavilion Shelter, 3 Trash Cans and 3 Dog Stations along Trail, per Exhibit "P". b. 8 ft wide at main entry

EXHIBIT “B”

B. Street and Sidewalk Requirements

B. Street and Sidewalk Requirements (For all Residential Districts)		
ELEMENT	BASE STANDARD (ALL DEVELOPMENT MUST COMPLY FULLY WITH ALL LISTED BELOW)	b. DESIRABLE STANDARD (THE FOLLOWING DESIRABLES WILL BE ACHIEVED THROUGHOUT THE SUBDIVISION)
Entry Features and Signage at Entries	Architectural features on stone and brick monument with landscaping and incorporated into open space area and illuminated by means other than street lights.	Wrought iron accent panels, or 2 or more different type/color of stone (can be synthetic or cultured).
Street Name Signs	Including block numbers, incorporated with street lighting coordinated throughout.	
Pedestrian Crosswalks	Connected system of decorative pavers at Trail Crossings per Exhibit “P”.	8 ft. wide, connected system of stamped colored paving at Trail Crossing at Main Entry.
Sidewalk Locations	4 ft concrete, both sides of street.	
Mail Boxes	Paired at lot line where applicable. Number plaque, brick same as resident.	Black metal ornamental dual box
Sidewalk Lighting	Throughout all Residential Development with spacing ranging from 250’ to 350’ apart (intersections & mid-block alternating sides).	
Perimeter Alleys	No alleys are required.	
Driveways	Driveways shall be per City of Wylie Standard details and specifications.	Exposed aggregate or salt finish concrete

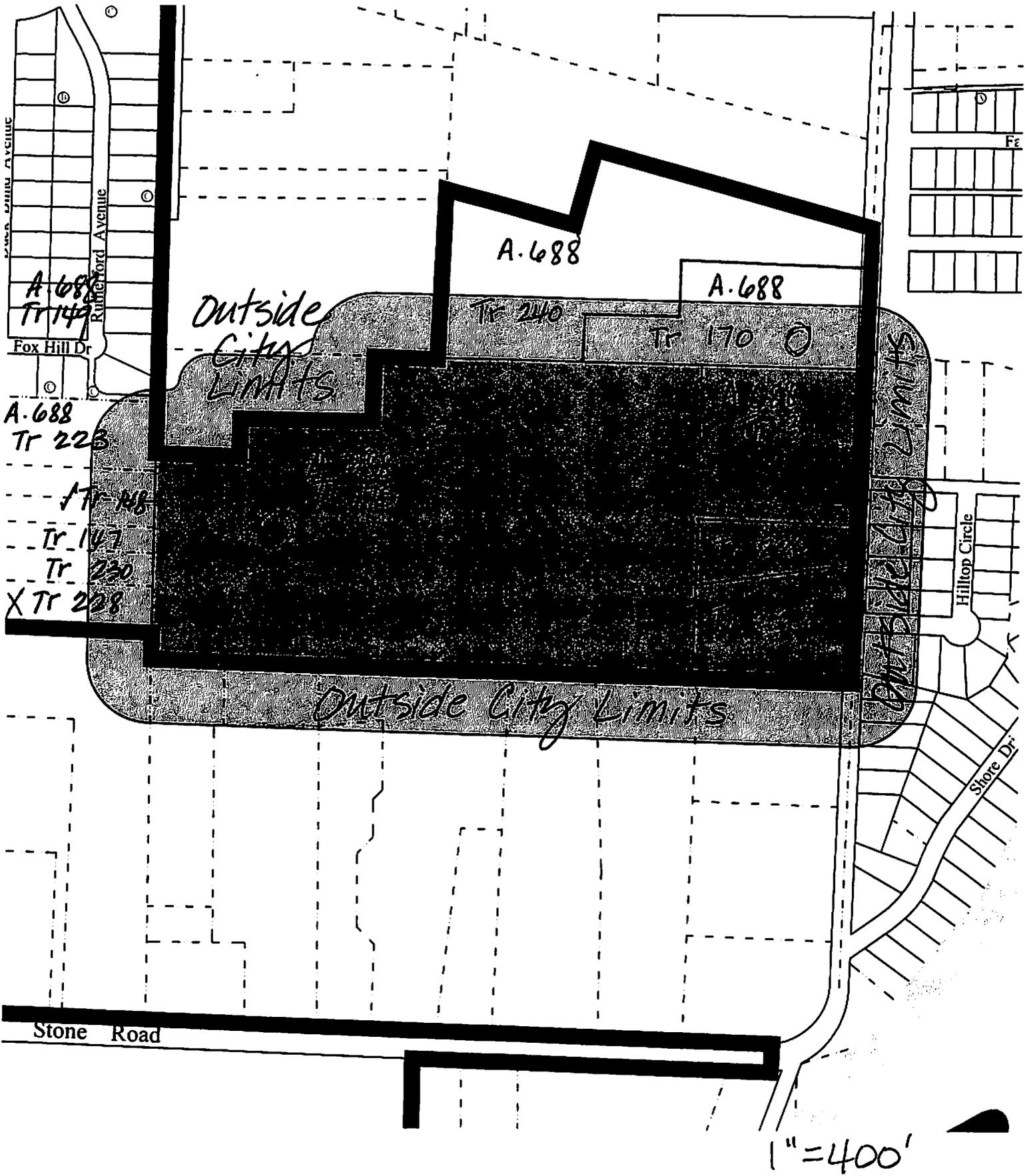
EXHIBIT "B"

C. Architectural Requirements

C. Architectural Requirements (For all Residential Districts)		
ELEMENT	BASE STANDARD (ALL DEVELOPMENT MUST COMPLY FULLY WITH ALL LISTED BELOW)	b. DESIRABLE STANDARD (THE FOLLOWING DESIRABLES WILL BE ACHIEVED THROUGHOUT THE SUBDIVISION)
Building Bulk and Articulation	Minimum 10% of street façade offset minimum 2 ft.	
House Numbers	Lighted front stone wall plaque beside main entry.	
Exterior Façade Material	80% brick, masonry stucco or stone.	
Covered Entranceway/Rear Patio	Minimum of 20 square feet for front porch on dwellings with front facing garages.	50 square feet or larger in total front entry and covered patio
Chimneys	Chimney enclosed with a stone veneer and capped	
Roof Pitch	All single family residential units shall have a minimum roof pitch of 6:12. Front elevations shall include shall be 8:12 for architectural gables. Dormers or porch areas may be minimum roof pitches of 4:12.	8:12 minimum roof pitch except for dormers and porches
Roof Materials	25 year Architectural-grade overlap shingles, tile or standing seam metal, no wood shingles, Paint rooftop accessories to match	Architectural dimensional shingles having a minimum 30 year warranty
Repetition of floor plan and elevation	5 lots skipped on same side of street before repeating similar floor plan and elevation, 3 lots skipped opposite side of street, and no identical or flipped floor plans side by side or directly across street	

EXHIBIT "B"

<p align="center">c. Architectural Requirements Cont. (For all Residential Districts)</p>		
<p>ELEMENT</p>	<p>BASE STANDARD (ALL DEVELOPMENT MUST COMPLY FULLY WITH ALL LISTED BELOW)</p>	<p>b. DESIRABLE STANDARD (THE FOLLOWING DESIRABLES WILL BE ACHIEVED THROUGHOUT THE SUBDIVISION)</p>
Garage entry	<p>a. Garage doors can be located on primary street elevation of a single family residential unit with wood grain look insulated door with carriage hardware. Garage shall be a minimum of 400 square feet.</p>	Garage door openers
Dwelling Size	<p>Minimum dwelling size exclusive of carports, garages and breezeways: (10%) of the houses 1,750 s.f., (30%) of the houses 1,850 s.f., (30%) of the houses 2,000 s.f., (30%) 2,400 s.f.</p>	
Fencing	<p>a. Front: 4 ft maximum height, 50% transparent, wood or tubular steel. b. Side/Rear: 6 ft maximum height, wood w/ metal posts & rails to inside. c. (No pressure treated wood). d. 6 foot tubular steel fence adjacent to the open space.</p>	All wood fencing shall be stained a uniform cedar color as determined by the H.O.A.
Landscaping	<p>Sod front, rear, and side yards and minimum 2 trees and 5 shrubs in front yard.</p>	Automated, subsurface irrigation system
Outdoor Lighting	<p>Front entry and drive/garage illuminated by standard porch light</p>	Garage illuminated by down-light (tree or house mounted) or up-light (house mounted).
Conservation/Sustainability	<p>Complies with Energy component of Building Code</p>	



NOTIFICATION MAP
 ZONING CASE #2015-08

NOTIFICATION REPORT

APPLICANT: Fred Phillips with Amalgamated Properties, LL
5055 Keller Springs #450 Addison, Texas 75001

APPLICATION FILE #2015-08

#	BLK/ABST	LOT/TRACT	TAX I.D. #	PROPERTY OWNER NAME	ADDRESS
1				Applicant - Fred Phillips Amalgamated Properties, LLC	5055 Keller Springs #450 Addison, Texas 75001
2	Abst 688	Tract 3	R-6688-005-0030-1	Cross Country Villas, LLC	2605 E. Stone Road Wylie, Texas 75098
3	Abst 688	Tract 147	R-6688-005-1470-1	John Yates	3209 Ranch Drive Garland, Texas 75041
4	Abst 688	Tract 148	R-6688-005-1480-1	John Yates	3209 Ranch Drive Garland, Texas 75041
5	Abst 688	Tract 149	R-6688-005-1490-1	DR Horton - Texas Ltd.	4306 Miller Road #A Rowlett, Texas 75088
○ 6	Abst 688	Tract 170	R-6688-005-1700-1	Robert Kreymer	2605 E. Stone Road Wylie, Texas 75098
○ 7	Abst 688	Tract 175	R-6688-005-1750-1	Cross Country Villas, LLC	2605 E. Stone Road Wylie, Texas 75098
8	Abst 688	Tract 223	R-6688-005-2230-1	Joe Tolleson	1036 S. Kreymer Lane Wylie, Texas 75098
○ 9	Abst 688	Tract 226	R-6688-005-2260-1	Dot Marie Kreymer	2499 E. Stone Road Wylie, Texas 75098
X 10	Abst 688	Tract 228	R-6688-005-2280-1	Guy Cates	1030 S. Kreymer Lane Wylie, Texas 75098
11	Abst 688	Tract 230	R-6688-005-2300-1	Abby Sandoval	1032 S. Kreymer Lane Wylie, Texas 75098
12	Abst 688	Tract 233	R-6688-005-2330-1	Cross Country Villas, LLC	2605 E. Stone Road Wylie, Texas 75098
13	Abst 688	Tract 240	R-6688-005-2400-1	Cross Country Villas, LLC	2605 E. Stone Road Wylie, Texas 75098
14					
15					
16					
17					
18					



Exhibit P
Kreymer Park
 Wylie, Texas



Wylie City Council

AGENDA REPORT

Meeting Date: August 11, 2015
Department: Planning
Prepared By: Renae' Ollie
Date Prepared: July 30, 2015

Item Number: 2
(City Secretary's Use Only)
Account Code: _____
Budgeted Amount: _____
Exhibits: 5

Subject

Hold a Public Hearing and consider, and act upon a change in zoning from Agricultural (A/30) to Planned Development-Single-Family (PD-SF), for single-family residential development on approximately 21 acres, located on the north side of Alanis Drive approximately 1400' west of S. Ballard Ave. **ZC 2015-07**

Recommendation

Motion to approve a change in zoning from Agricultural (A/30) to Planned Development-Single-Family (PD-SF), for single-family residential development on approximately 21 acres, located on the north side of Alanis Drive approximately 1400' west of S. Ballard Ave. **ZC 2015-07**

Discussion

Owner: Milford Founders, LP & Freshe PM, LLC

Applicant: Douglas Properties, Inc.

The applicant is requesting to establish permanent zoning on approximately 21 acres of land, as Phase II of a Planned Development which was approved in January of 2015. Phase I contains a historical house known as "The Stone House" and the overall theme of that development will continue in Phase II.

The PD specifies minimum lot size of 7,200 s.f. with 25% of the lots having a minimum dwelling size of 1,800 sf. or greater, 35% being 2,000 sf or greater, and 40% being 2,200 sf or greater. Maximum number of lots shall not exceed 95 lots. No alleys are required within the property. The proposal sets 5 feet as the minimum side yard requirement and 10 feet for corner lots. Front yard setbacks are proposed for 20 feet. All lots which back onto park land shall provide a wrought iron fence of uniform design to be installed by the homebuilder. Maintenance of the park area will be the responsibility of the HOA.

Properties to the north and west are developed as single-family residential dwellings on average lot sizes of 7,700 s.f. and have been platted as Westwind Meadows Subdivision since the late seventies. Southplace Estates located east of the subject tract across Ballard has been developed since 2002 as single-family residential dwellings with minimum allowed lot sizes of 8,500 s.f. and average lot sizes of 10,000 s.f.

An eight foot Hike & Bike Trail, with six feet in front of dwellings will be installed to achieve a link in the city park system. Distinctive striping and buttons or similar approved by city engineer shall be installed at trail crossings. The proposed case will have single loaded streets along open space/parkland. Landscape features as well as screening wall will be installed along Alanis & Ballard (Stone Ranch 1).

Exterior materials shall be a minimum of 80% brick or masonry stucco, with 20% being window boxes, gables, or other architectural elements. The 20% architectural element does not include siding. Wood, vinyl siding and EIFS shall not be used for exterior walls.

A minimum of five platted lots shall be skipped on the same side of the street and three lots must be skipped on the opposite side of a street before rebuilding the same single family residential unit with an identical or nearly identical street elevation design.

Garage doors may be located on the primary street elevation with an upgraded insulated door with carriage hardware.

The Parks Board considered the dedication and park improvements per the attached Exhibit "P" and recommended approval on July 13, 2015.

Notification/Responses: Thirty-Seven (37) notifications were mailed; with no responses returned at the time of posting.

PLANNING & ZONING COMMISSION DISCUSSION:

The Planning and Zoning Commission voted 7-0 to recommend approval.

EXHIBIT "A"

LEGAL DESCRIPTION

Situated in the E. C. Davidson Survey, Abstract No. 267, in the City of Wylie, Collin County, Texas, and being a part of the 13.7572 acre tract of land (Tract 1) and all of the 10.20 acre tract of land (Tract 2) conveyed to Freshe PM, LLC, recorded in Document No. 20140714000722710, of the Official Public Records, Collin County, Texas, and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod with yellow plastic cap stamped "WESTWOOD PS" set at the intersection of the south right-of-way line of Windcrest Drive with the east line of a 15' alley shown on plat of Westwind Meadows No. 3, an addition to the City of Wylie, of record in Cabinet F, Page 643, Plat Records, Collin County, Texas;

THENCE, South 00 degrees 46 minutes 10 seconds East, along the east property line of a 37.8450 acre tract of land (Tract 4) and a part of the 1.0 acre tract of land (Tract 5) conveyed to Charlotte A. Stoeckle as evidenced in Affidavit of Facts Concerning The Identity of Heirs recorded in Instrument 20120720000881090, distance of 529.65 feet to a 5/8 inch iron rod with yellow plastic cap stamped "WESTWOOD PS" set for the northeast corner of the 1.000 acre tract of land described in deed to Danny P. Sellers and Marion G.F. Small recorded in County Clerk's File No. 96-0104910, of said Official Public Records;

THENCE, South 88 degrees 43 minutes 08 seconds West, a distance of 198.79 feet to the northwest corner of said Sellers and Small tract;

THENCE, South 00 degrees 26 minutes 45 seconds East, a distance of 178.15 feet to a point on the said north right-of-way line of Alanis Drive;

THENCE, along the said north right-of-way of said Alanis Drive the following courses and distances:

South 88 degrees 43 minutes 04 seconds West, a distance of 198.19 feet to the beginning of a non-tangent curve to the left having a central angle of 16 degrees 31 minutes 55 seconds, a radius of 760.00 feet and a long chord that bears North 86 degrees 30' minutes 01 seconds West, a distance of 218.53 feet;

Along said curve to the left an arc distance of 219.29 feet;

South 85 degrees 14 minutes 02 seconds West, a distance of 390.70 feet to the beginning of a tangent curve to the left having a central angle of 11 degrees 02 minutes 31 seconds, a radius of 810.00 feet and a long chord that bears South 79 degrees 42' minutes 53 seconds West, a distance of 155.86 feet;

Along said curve to the left an arc distance of 156.10 feet;

South 74 degrees 11 minutes 38 seconds West, a distance of 140.10 feet to the southeast corner of the 3 acre tract of land described in deed to Edna Pockrus, recorded in Volume 3175, Page 185 of the said Official Public Records;

THENCE, North 00 degrees 39 minutes 08 seconds West, leaving said north right-of-way line of Alanis Drive, and along the east property line of said Edna Pockrus tract, a distance of 803.83 feet to the southwest corner Westwind Meadows No. 3, an addition to the City of Wylie, of record in Cabinet F, Page 643, Plat Records, Collin County, Texas;

THENCE, along the south and east property line of of said Westwind Meadows No. 3, the following courses and distances:

North 89 degrees 15 minutes 49 seconds East, a distance of 140.12 feet to the west right-of-way line of Stonebrook Drive(a 50' right-of-way);

South 00 degrees 44 minutes 11 seconds East, a distance of 5.00 feet to the intersection of said west right-of-way line of Stonebrook Drive and the south right-of-way line of Windcrest Drive(a 50' right-of-way);

North 89 degrees 55 minutes 49 seconds East, along said Windcrest Drive south right-of-way line, a distance of 1152.98 feet to the POINT OF BEGINNING and containing 20.7062 acres or 901,964 square feet of land more or less.

EXHIBIT "B"
CONDITIONS FOR PLANNED DEVELOPMENT
ZONING CASE No. _____

I. GENERAL CONDITIONS:

1. This planned Development District shall not affect any regulations within the Code of Ordinances, except as specifically provided herein.
2. All regulations of the Single Family 10/24 set forth in Article 3, Section 3.2 of the Comprehensive Zoning Ordinance (adopted as of May 2011) are hereby replaced with the following:

Figure 3-4 - Planned Development – Single Family (PD – SF)	
Lot Size (<i>Minimum</i>)	
Lot Area (sq. ft.)	7,200
Lot Width (feet)	60
Lot width of corner Lots (feet)	65
Lot Depth (feet)	100
Lot Depth of Double Front Lots (feet)	110
Dwelling Regulations (Minimum Square Footage)	
25% of the lots	1,800
35% of the lots	2,000
40% of the lots	2,200
Design Standards Level of Achievement	See Section III Design Conditions
Yard Requirements – Main Structures	
Front Yard (feet)	20
Side Yard (feet)	5
Side Yard of Corner Lots (feet)	10
Side Yard of Corner Lots (feet) on key lots	20
Rear Yard (feet)	15
Rear Yard Double Front Lots (feet)	20
Lot Coverage	50%
Height of Structures	
Main Structure (feet)	40
Accessory Structure (feet)	14

II. SPECIAL CONDITIONS:

1. Maximum number of residential lots not to exceed 95 lots.
2. Key lots are defined as a corner lot which is backing up to an abutting side yard.
3. Three-tab roofing shall not be permitted.
4. No alleys shall be required within the Planned Development.
5. Developer shall install a screening wall where lots back or side to Alanis or Ballard with a 4 ft side walk.
6. Lots which back onto park land shall provide a decorative iron fence of uniform design to be installed by the homebuilder, as approved by the Planning Department.
7. The Development Plan attached as Exhibit "C" shall serve as the Preliminary Plat.
8. Existing trees greater than 6 inch caliper within the flood plain shall be protected in accordance with City's Tree Preservation Plan.
9. Open space, drainage & floodway easement, and public hike & bike trail shall be dedicated to the City of Wylie in accordance with City's Subdivision Regulations.

10. Maintenance of the Park Area

Maintenance of the park area will be the responsibility of the homeowners' association (HOA).

- A. Developer will be the contact entity with the City for all concerns regarding maintenance of park and open space until 100% of HOA control is turned over to the homeowners.
- B. HOA maintenance and responsibilities of amenities include:
 - a. Clean up and litter removal.
 - b. Landscaping installation, care, and maintenance.
 - c. Trimming, clearing, and removal of unwanted vegetation as determined by the City Park Division.
 - d. Maintain irrigation system, pay for the water used in the system and test all backflow devices annually as per City requirements.
 - e. Maintain benches, tables, concrete trail, and any other installed improvements, per Exhibit "P". Coordinate with the City Park Department prior to the replacement or removal of any improvement for consistency with City Park standards.
- C. City responsibilities of amenities include:
 - a. Perform playground safety inspections by qualified personnel.

11. All Park Amenities as described in **Exhibit "P"** and as approved by the City Parks Department, shall be installed prior to the issuance of a Certificate of Occupancy.

IV. DESIGN CONDITIONS:

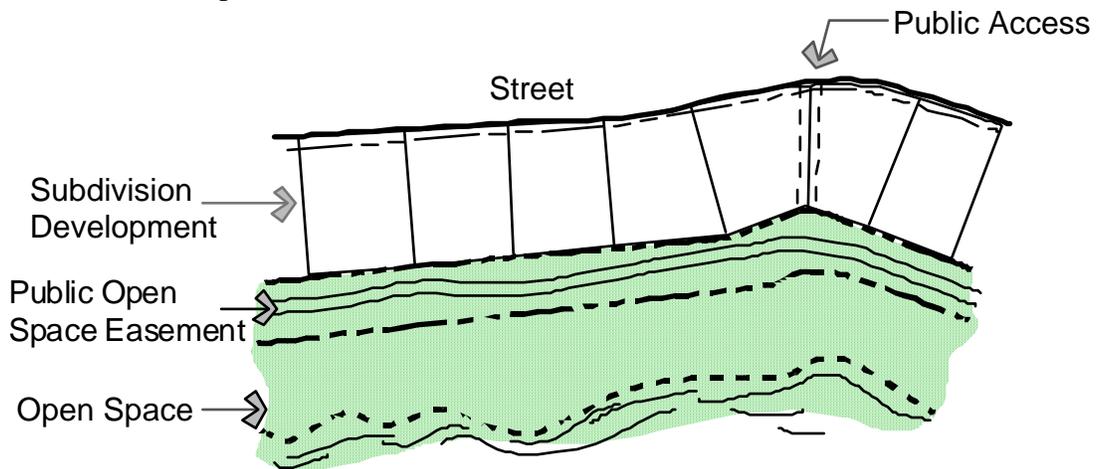
A. Land Design Standards – New Residential Requirements

Desired Land Design requirements are achieved by projects in accordance with Exhibit “P” and the following criteria:

1. Provision of Public Pathways - Public Open Space

a. Base Standard

- (1) Trail shall be constructed to the City’s standards. Open space parkland shall be in accordance with **Exhibit “P”** as adopted by this ordinance.
 - (a) 8’ Hike & Bike Trail, with 6’ in front of dwellings, achieving link in city trail system.
 - (b) Additional improvements shall be done to Stone Ranch Phase 1 open space and will be coordinated by the Wylie Parks Department.
 - (c) Distinctive striping and buttons or similar approved by city engineer shall be installed at trail crossings.
- (2) The public pathway system easement(s) shall be connected along existing or planned utility rights-of-way and/or public property lines to any existing or planned public trail system on abutting land. Locate the public open space easement to provide for future connections to be made by others across intervening property to any existing or planned public trail system on land that does not abut the development.



b. Desirable Design Attributes

Single-loaded Street along open space and access per **Exhibit “P”**.

2. Provision of Public Pathway – Perimeter Walkways and Landscape

a. Base Standard

- (1) Per **Exhibit “P”** and coordinate improvements with the City of Wylie.

(2) Landscaping and Tree Preservation shall be in accordance with **Exhibit “C”**.

The following trees and shrubs are recommended for landscaping and screening purposes and shall be of a species common or adaptable to this area of Texas:

1. Large Trees:
 - Pecan Red Oak
 - Burr Oak Water Oak
 - Southern Magnolias Live Oak
 - Bald Cypress
2. Small Trees:
 - Yaupon Hollies Crape Myrtle
 - Wax Myrtle Cherry Laurel
 - Red Bud Japanese Black Pine
 - Cedar Elm
3. Evergreen Shrubs:
 - Red Tip Photinia Burford Holly
 - Nellie R. Stevens Chinese Holly
 - Yaupon Holly Clearra
 - Nandinnia Dwarf Crape Myrtle
 - Japanese Ligustrum Waxleaf Ligustrum
 - Abelia Junipers
 - Barberry Asian Jasmine
 - Honeysuckle English Ivy
 - Boston Ivy Liriope
 - Monkey Grass Virginia Creeper
 - Vinca Mondon Grass
 - Ophia Pogon Elaeagnus
 - Purple Sage Pistachio

The following trees are discouraged for landscaping and screening purposes:

- Silver Maple Hackberry
- Green Ash Arizona Ash
- Mulberry Cottonwood
- Mimosa Syberian Elm
- American Elm Willow
- Sycamore Bradford Pear

b. Desirable Design Attributes

None

3. Lighting and Furnishings Along Open Space, Easements and Trails

a. Base Standard

- (1) Benches with backs installed per **Exhibit “P”**
- (2) Provide distinctive striping and buttons or similar cross-walks approved by city engineer at street connectors.
- (3) 8’ wide distinctive striping and buttons or similar approved by city engineer at main entry; 6 ft wide at interior street connectors per **Exhibit “P”**

b. Desirable Design Attributes

- (1) Additional improvements shall be done to Stone Ranch Phase 1 open space and will be coordinated by the Wylie Parks Department., per Exhibit “P”.
- (2) 8’ wide distinctive striping and buttons or similar approved by city engineer crossing at main entry;

B. Street and Sidewalk Standards – New Residential Requirements

Desired street and sidewalk requirements are achieved in accordance with the following criteria:

1. Street Treatments – Entry Features and Signage at Entries

a. Base Standard

Architectural features on stone monument (no brick) with landscaping and incorporated into open space area and illuminated by means other than street lights.

b. Desirable Design Attributes

Decorative iron accent panels or 2 or more different type/color of stone (can be synthetic or cultured).



2. Street Treatments – Street Name Signs

a. Base Standard

Block numbers shall be incorporated with street lighting that is coordinated throughout the subdivision.

b. Desirable Design Attributes:

None

3. Street Treatments – Pedestrian Crosswalks

a. Base Standard

All crosswalks within a Residential development are to be 8 feet wide at trail crossings with distinctive striping and buttons or similar approved by city engineer and must connect to a pedestrian sidewalk system with pedestrian ramps complying with the American with Disabilities Act, to provide a clear, continuous pedestrian and circulation system throughout a subdivision.

b. Desirable Design Attributes:

Provide 8 ft. wide, connected system of distinctive striping and buttons or similar approved by city engineer at Trail Crossing at Main Entry.

4. Pedestrian Sidewalks - Sidewalk Locations

a. Base Standard

4 feet wide concrete pedestrian sidewalks shall be located on both sides of the street, in the right-of-way of every internal street.

b. Desirable Design Attributes:

None

5. Mail Boxes

a. Base Standard

Mail boxes shall provide number plaque and brick to match the resident.

b. Desirable Design Attributes:

Same stone and brick as house exterior trim to mail boxes.

6. Pedestrian Sidewalks - Sidewalk Lighting

a. Base Standard

Decorative street lighting shall be provided along residential streets throughout all Residential Developments, providing low illumination with decorative poles with spacing ranging from 250 feet to 350 feet between lights placed on alternating sides of the street. A Street Lighting Plan must be submitted to the City Engineer for approval. The City Engineer is authorized to alter the distance requirement if needed in an effort to achieve the best lighting arrangement possible.



b. Desirable Design Attributes:

None

7. Perimeter Alleys

a. Base Standard

No Alleyways are required for the subdivision.

b. Desirable Design Attributes:

None

C. Architectural Standards – New Residential Requirements

1. Building Bulk and Articulation

a. Base Standard

In order to avoid large blank facades, variations in the elevation of residential facades facing a public street shall be provided in both the vertical and horizontal dimensions. At least 20 percent of the façade shall be offset a minimum of 1 foot either protruding from or recessed back from the remainder of the façade.

b. Desirable Design Attributes:

None

2. House Numbers

a. Base Standard

All single family residential units shall have lighted front stone wall plaque with resident address beside the main entry of the dwelling unit.

b. Desirable Design Attributes:

None

3. Exterior Façade Material

a. Base Standard

All single family residential units shall have a minimum of eighty (80) percent of the exterior facade composed of kiln-fired clay brick or masonry stucco with the balance being window boxes, gables, architectural shingle and etc., but not 20% siding, excluding windows, doors and other openings. Glazing shall not exceed twenty-five (25) percent of the front elevation of the residence. Dormers, second story walls or other elements supported by the roof structure may be composite masonry materials if approved by the Building Official as having the same durability as masonry or stone and when offset at least six (6) inches from the first floor exterior wall. Wood, vinyl siding and EIFS materials shall not be used for exterior walls.

b. Desirable Design Attributes:

None

4. Exterior Facades – Porch

a. Base Standard

Each single family residential unit shall have a combined total covered front, side or rear entry of a minimum of 120 total square feet of floor area.



b. Desirable Design Attributes:

Two or more sides of covered porches, or pitched cover incorporated into roof lines of house

5. Exterior Facades - Chimneys

a. Base Standard

Chimney flues for fireplace chimneys are to be within a chimney enclosed with masonry matching exterior walls of the residential unit and capped.

b. Desirable Design Attributes:

Fireplace chimneys shall incorporate 40 percent stone, matching the accent exterior façade materials of the house for houses with Chimneys.

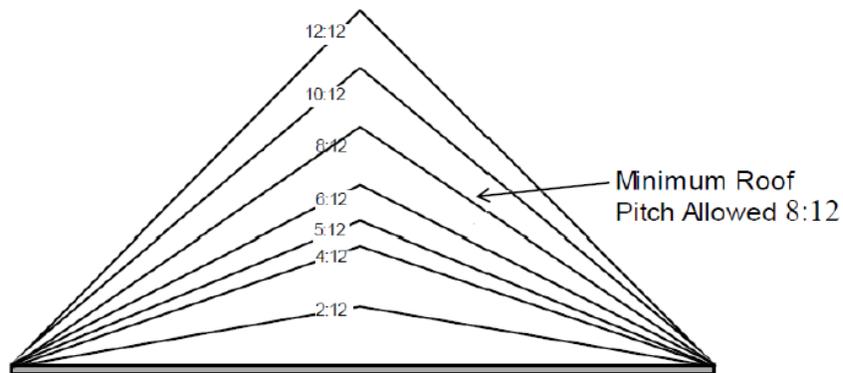
6. Roofs and Roofing - Roof Pitch

a. Base Standard

All single family residential units shall have a minimum roof pitch of 8:12, with articulation, dormers or a combination of hip and gable roofing.

b. Desirable Design Attributes:

None



7. Roofs and Roofing - Roofing Materials

a. Base Standard

All single family residential units shall have architectural-grade overlap shingles, tile or standing seam metal. Wood shingles are not permitted. Plumbing vents, attic vents, and other rooftop accessories are to be painted to match the roof shingle color.

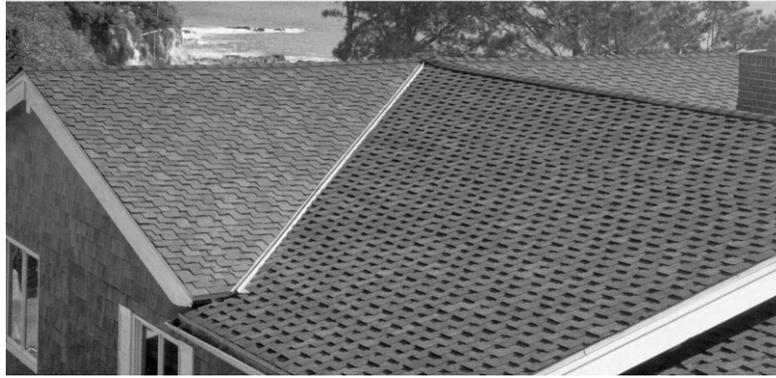
b. Desirable Design Attributes:

None

8. Roofs and Roofing - Roof Eaves

a. Base Standard

No wood fascia or soffits are permitted.



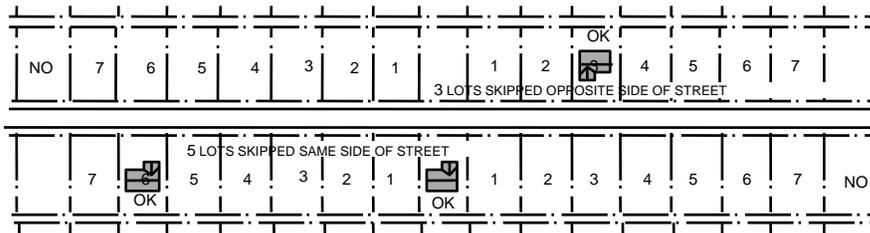
b. Desirable Design Attributes:

None

9. Repetition of Residential Unit Designs – Repetition of Floor Plan and Elevation

a. Base Standard

A minimum of five (5) platted residential lots must be skipped on the same side and three (3) lots must be skipped on the opposite side of a street before rebuilding the same single family residential unit with an identical (or nearly identical) street elevation design. The same floor plan shall not be repeated on neighboring, side by side lots or directly across the street.



Identical or nearly identical floor plan means that the layout, size and function of the rooms are essentially the same. Identical or nearly identical street elevation design means little or no variation in the articulation of the facade, height or width of facade, placement of the primary entrances, porches, number and placement of windows, and other major architectural feature. It does not mean similar colors, materials, or small details.

b. Desirable Design Attributes:

None

10. Garage Entry

a. Base Standard

Garage doors can be located on the primary street elevation of a single family residential unit with an upgraded insulated door with carriage hardware. The primary street would be the addressed street front. Garages may face the street on a corner lot side yard. Each garage shall be a minimum of 2 car garage.



b. Desirable Design Attributes:

None

11. Dwelling Size

a. Base Standard

The minimum square feet of floor space shall be (25%) of the houses 1,800 s.f. , (35%) of the houses 2,000 s.f. , (40%) of the houses 2,200 s.f. , measured within the outside dimensions of a residential dwelling unit including each floor level, but excluding carports, garages, and breezeways.

12. Fencing

a. Base Standard

- (1) Front yard fences (if provided) shall be permitted to a height of 4 feet maximum with minimum 50 percent transparency constructed of wood or wrought iron.
- (2) Side and rear yard fences (if provided) shall be permitted to a height of 8 feet maximum and constructed of wood with metal posts and rails to the inside.
- (3) Pressure treated wood is prohibited.

- (4) Fences shall be constructed of decorative iron next to public open space, and shall be minimum 4 ft in height.

b. Desirable Design Attributes

None

13. Landscaping

a. Base Standard

- (1) Each residential dwelling shall have sodded front, side, and rear yard with a minimum of 2 trees and 5 shrubs in front yard.
- (2) All landscaped areas must be kept in a healthy and growing condition. Any plant materials that die during a time of year where it is not feasible to replant shall be replaced as soon as possible.

b. Desirable Design Attributes

Each residential dwelling unit shall have an automated, subsurface irrigation system.

14. Outdoor Lighting

a. Base Standard

All residential dwelling units shall have an illuminated standard porch light at the front entry and drive/garage.

b. Desirable Design Attributes

Front façade and drive/garage shall be illuminated by coach lights on each side of the garage and front yard activity area illuminated and wired to the interior of the house.

15. Conservation/Sustainability

a. Base Standard

Each residential dwelling unit must comply with the Energy component of the Building Code.

b. Desirable Design Attributes

None



III. DESIGN REGULATION CHART:

A. Land Design Requirements

A. Land Design Requirements (In Accordance with Exhibit “P”)		
ELEMENT	a. BASE STANDARD (ALL DEVELOPMENT MUST COMPLY FULLY WITH ALL LISTED BELOW)	b. DESIRABLE STANDARD (THE FOLLOWING DESIRABLES WILL BE ACHIEVED THROUGHOUT THE SUBDIVISION)
Public Open Space	<ul style="list-style-type: none"> a. Trail shall be constructed to the City’s standards. b. 6 & 8 ft. hike & bike trail and open space improvements, per Exhibit “P”. c. Provide benches per Exhibit “P”. 	Single-loaded street along open space.
Perimeter Walkways and Landscape	Coordinate with City of Wylie	
Lighting and Furnishings along open space easements and trails	<ul style="list-style-type: none"> a. Per Exhibit “P”. b. Distinctive striping and buttons or similar approved cross-walks at street connections c. 6 ft at interior street connectors. 	<ul style="list-style-type: none"> a. Additional improvements shall be done to Stone Ranch Phase 1 open space and will be coordinated by the Wylie Parks Department, per Exhibit “P”. b. 8 ft wide at main entry

B. Street and Sidewalk Requirements

B. Street and Sidewalk Requirements (For all Residential Districts)		
ELEMENT	BASE STANDARD (ALL DEVELOPMENT MUST COMPLY FULLY WITH ALL LISTED BELOW)	b. DESIRABLE STANDARD (THE FOLLOWING DESIRABLES WILL BE ACHIEVED THROUGHOUT THE SUBDIVISION)
Entry Features and Signage at Entries	Architectural features on stone monument (no brick) with landscaping and incorporated into open space area.	Decorative iron accent panels, or 2 or more different type/color of stone (can be synthetic or cultured).
Street Name Signs	Including block numbers, incorporated with street lighting coordinated throughout.	
Pedestrian Crosswalks	Connected system distinctive striping and buttons or similar approved by city engineer per Exhibit "P".	8 ft. wide, connected system distinctive striping and buttons or similar approved by city engineer at Trail Crossing.
Sidewalk Locations	4 ft concrete, both sides of street.	
Mail Boxes	Mail boxes shall provide number plaque and brick to match the resident.	Stone and brick same as house exterior trim.
Perimeter Alleys	No alleys are required.	

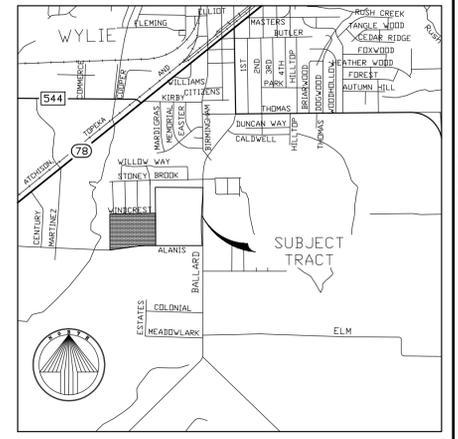
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C. Architectural Requirements

C. Architectural Requirements (For all Residential Districts)		
ELEMENT	BASE STANDARD (ALL DEVELOPMENT MUST COMPLY FULLY WITH ALL LISTED BELOW)	b. DESIRABLE STANDARD (THE FOLLOWING DESIRABLES WILL BE ACHIEVED THROUGHOUT THE SUBDIVISION)
Building Bulk and Articulation	Minimum 20% of street façade offset minimum 1 ft.	
House Numbers	Lighted front stone wall plaque beside main entry.	
Exterior Façade Material	80% brick or masonry stucco.	
Porch	120 square feet combined total covered front entry, rear entry or side entry.	Two or more sides of covered porches, or pitched cover incorporated into roof lines of house
Chimneys	Chimney enclosed with masonry matching exterior walls and capped	40% stone to match house accent material for houses with Chimneys.
Roof Pitch	8:12 minimum roof pitch; with articulation, dormers or hip/gable	
Roof Materials	Architectural-grade overlap shingles, tile or standing seam metal, no wood shingles, Paint rooftop accessories to match	
Roof Eaves	No wood fascia or soffit	
Repetition of floor plan and elevation	5 lots skipped on same side of street before repeating similar floor plan and elevation, 3 lots skipped opposite side of street, and no identical or flipped floor plans side by side or directly across street	

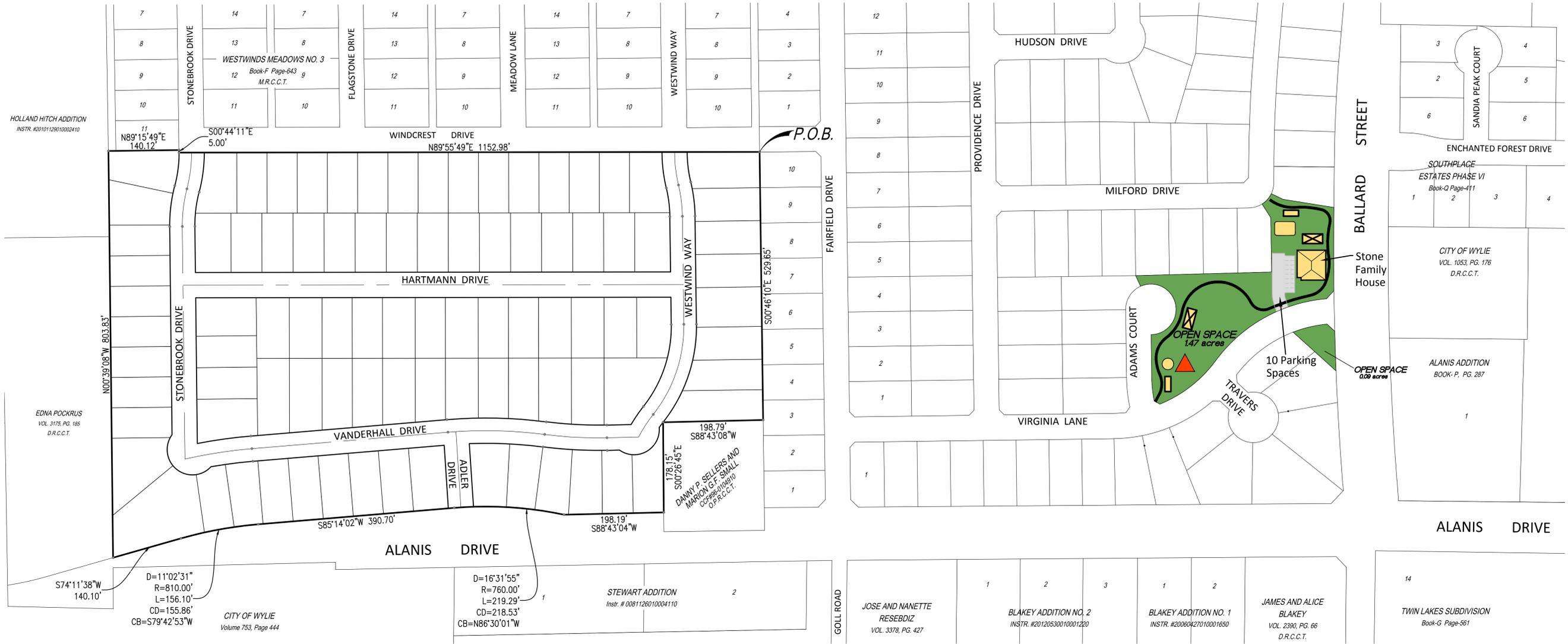
C. Architectural Requirements Cont.
(For all Residential Districts)

ELEMENT	BASE STANDARD (ALL DEVELOPMENT MUST COMPLY FULLY WITH ALL LISTED BELOW)	b. DESIRABLE STANDARD (THE FOLLOWING DESIRABLES WILL BE ACHIEVED THROUGHOUT THE SUBDIVISION)
Garage entry	a. Garage doors can be located on the primary street elevation of a single family residential unit with and upgraded insulated door with carriage hardware. Garage shall be a minimum of 2 car garage.	
Dwelling Size	Minimum dwelling size exclusive of garages and breezeways	
Fencing	a. Front: 4 ft maximum height, minimum 50% transparent, wood or wrought iron. b. Side/Rear: 8 ft maximum height, wood w/ metal posts & rails to inside. c. (No pressure treated wood). d. 4 foot Decorative Iron Fence adjacent to the public open space.	
Landscaping	Sod front, rear, and side yards and minimum 2 trees and 5 shrubs in front yard.	Automated, subsurface irrigation system
Outdoor Lighting	Front entry and drive/garage illuminated by standard porch light	Front façade and drive/garage shall be illuminated by coach lights on each side of the garage and front and side yard activity area illuminated and wired to the interior of the house.
Conservation/Sustainability	Complies with Energy component of Building Code	



VICINITY MAP
N.T.S.

STONE RANCH



- OPEN SPACE = 2.03 ACRES
- HIKE & BIKE TRAIL
 - (△ DENOTES PLAYGROUND AREA) - 1
 - (□ DENOTES PARK BENCH) - 2
 - (⊠ DENOTES PICNIC TABLE) - 2
 - (○ DENOTES TRASH RECEPTACLES) - 1
 - (□ DENOTES PET STATION) - 1
- EXACT LOCATION OF THE HIKE & BIKE TRAIL TO BE DETERMINED BY THE DEVELOPER AND CITY OF WYLIE

OWNER
FRESHE PM, LLC.
2089 NORTH COLLINS BLVD., SUITE 100 PLANO, TX. 75074

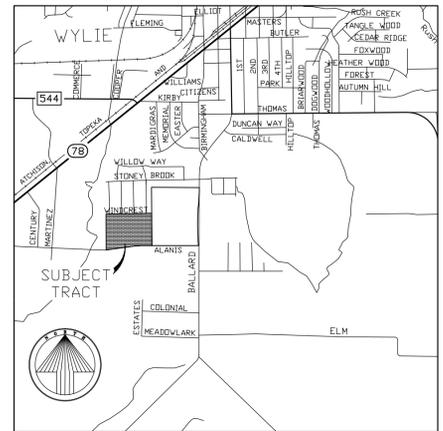
DEVELOPER
DOUGLAS PROPERTIES, INC.
2309 K AVENUE, SUITE 100 PLANO, TX 75074
972-422-1658

ENGINEER/SURVEYOR

Westwood

Phone (214) 473-4640 2740 North Dallas Parkway, Suite 280
TollFree (888) 937-5150 Plano, TX 75093
westwoodps.com
Westwood Professional Services, Inc.
Survey Firm Number: 10074301

EXHIBIT P
OF
STONE RANCH PHASE 2
OUT OF THE
E.C. DAVIDSON SURVEY, ABSTRACT NO. 267
IN THE
CITY OF WYLIE, COLIN COUNTY, TX



VICINITY MAP
N.T.S.

LEGAL DESCRIPTION

Situated in the E. C. Davidson Survey, Abstract No. 267, in the City of Wylie, Collin County, Texas, and being a part of the 13.7572 acre tract of land (Tract 1) and all of the 10.20 acre tract of land (Tract 2) conveyed to Freshe PM, LLC, recorded in Document No. 20140714000722710, of the Official Public Records, Collin County, Texas, and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod with yellow plastic cap stamped "WESTWOOD PS" set at the intersection of the south right-of-way line of Windcrest Drive with the east line of a 15' alley shown on plot of Westwind Meadows No. 3, an addition to the City of Wylie, of record in Cabinet F, Page 643, Plat Records, Collin County, Texas;

THENCE, South 00 degrees 46 minutes 10 seconds East, along the east property line of a 37.8450 acre tract of land (Tract 4) and a part of the 1.0 acre tract of land (Tract 5) conveyed to Charlotte A. Stoeckle as evidenced in Affidavit of Facts Concerning The Identity of Heirs recorded in Instrument 20120720000881090, distance of 529.65 feet to a 5/8 inch iron rod with yellow plastic cap stamped "WESTWOOD PS" set for the northeast corner of the 1.000 acre tract of land described in deed to Danny P. Sellers and Marion G.F. Small recorded in County Clerk's File No. 96-0104910, of said Official Public Records;

THENCE, South 88 degrees 43 minutes 08 seconds West, a distance of 198.79 feet to the northwest corner of said Sellers and Small tract;

THENCE, South 00 degrees 26 minutes 45 seconds East, a distance of 178.15 feet to a point on the said north right-of-way line of Alanis Drive;

THENCE, along the said north right-of-way of said Alanis Drive the following courses and distances:

South 88 degrees 43 minutes 04 seconds West, a distance of 198.19 feet to the beginning of a non-tangent curve to the left having a central angle of 16 degrees 31 minutes 55 seconds, a radius of 760.00 feet and a long chord that bears North 86 degrees 30' minutes 01 seconds West, a distance of 218.53 feet;

Along said curve to the left an arc distance of 219.29 feet;

South 85 degrees 14 minutes 02 seconds West, a distance of 390.70 feet to the beginning of a tangent curve to the left having a central angle of 11 degrees 02 minutes 31 seconds, a radius of 810.00 feet and a long chord that bears South 79 degrees 42' minutes 53 seconds West, a distance of 155.86 feet;

Along said curve to the left an arc distance of 156.10 feet;

South 74 degrees 11 minutes 38 seconds West, a distance of 140.10 feet to the southeast corner of the 3 acre tract of land described in deed to Edna Pockrus, recorded in Volume 3175, Page 185 of the said Official Public Records;

THENCE, North 00 degrees 39 minutes 08 seconds West, leaving said north right-of-way line of Alanis Drive, and along the east property line of said Edna Pockrus tract, a distance of 803.83 feet to the southwest corner Westwind Meadows No. 3, an addition to the City of Wylie, of record in Cabinet F, Page 643, Plat Records, Collin County, Texas;

THENCE, along the south and east property line of said Westwind Meadows No. 3, the following courses and distances:

North 89 degrees 15 minutes 49 seconds East, a distance of 140.12 feet to the west right-of-way line of Stonebrook Drive(a 50' right-of-way);

South 00 degrees 44 minutes 11 seconds East, a distance of 5.00 feet to the intersection of said west right-of-way line of Stonebrook Drive and the south right-of-way line of Windcrest Drive(a 50' right-of-way);

North 89 degrees 55 minutes 49 seconds East, along said Windcrest Drive south right-of-way line, a distance of 1152.98 feet to the **POINT OF BEGINNING** and containing 20.7062 acres or 901,964 square feet of land more or less.

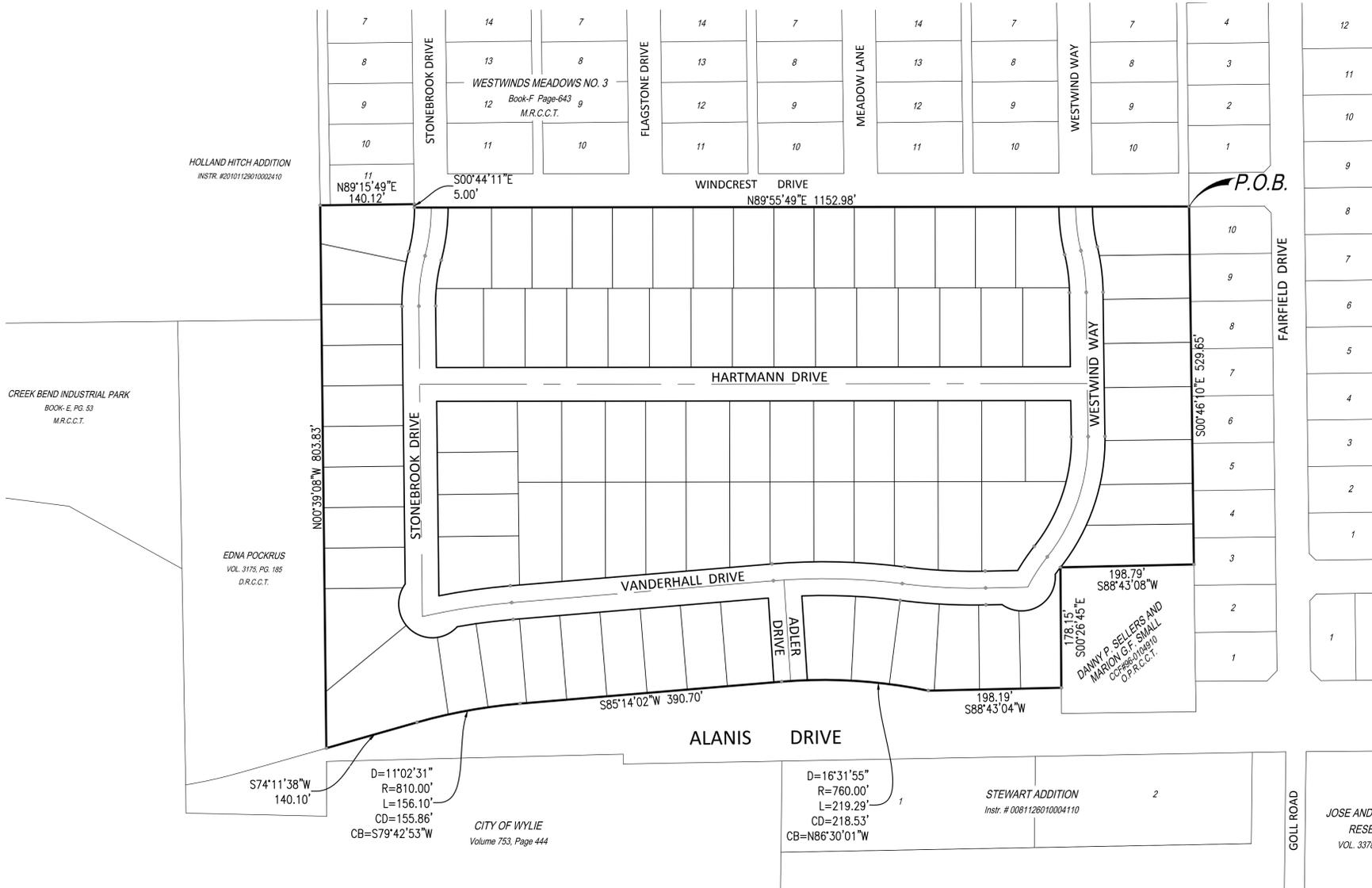


EXHIBIT C
OF
STONE RANCH PHASE 2

OUT OF THE
E.C. DAVIDSON SURVEY, ABSTRACT NO. 267
IN THE
CITY OF WYLIE, COLLIN COUNTY, TX

OWNER
FRESHE PM, LLC.
2089 NORTH COLLINS BLVD., SUITE 100, RICHARDSON, TX. 75080
DEVELOPER
DOUGLAS PROPERTIES, INC.
2309 K AVENUE, SUITE 100 PLANO, TX 75074
972-422-1658
ENGINEER/SURVEYOR

Westwood

Phone (214) 473-4640 2740 North Dallas Parkway, Suite 280
Toll Free (888) 937-5150 Plano, TX 75093
westwoods.com

Westwood Professional Services, Inc.
Survey Firm Number: 10074301

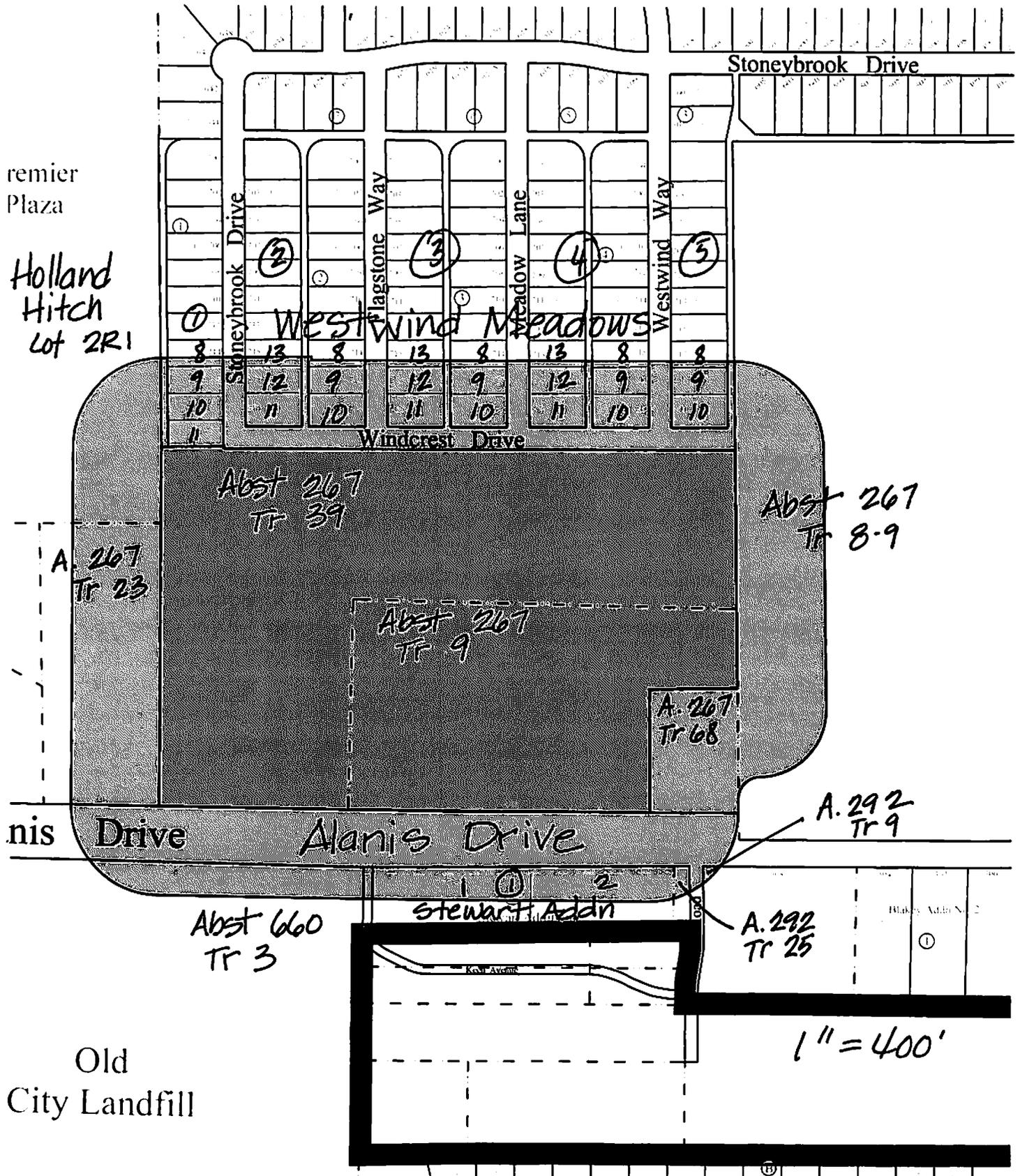
NOTIFICATION REPORT

APPLICANT: Jim Douglas with Douglas Properties, Inc.
2309 Avenue K #100 Plano, Texas 75074

APPLICATION FILE #2015-07

#	BLK/ABST	LOT/TRACT	TAX I.D. #	PROPERTY OWNER NAME	ADDRESS
1				Applicant - Jim Douglas Douglas Properties, Inc.	2309 Avenue K #100 Plano, Texas 75074
2	Blk 1	Stewart Addition Lot 1	R-9694-001-0010-1	400 Alanis, LLC	228 Zachary Walk Murphy, Texas 75094
3	Blk 1	Lot 2	R-9694-001-0020-1	400 Alanis, LLC	228 Zachary Walk Murphy, Texas 75094
4	--	Holland Hitch Addn Lot 2R1	R-10068-000-02R1-1	Ascend Custom Extrusions, LLC	12001 N. Central Expwy #1120 Dallas, Texas 75243
5	Blk 1	Westwind Meadows Lot 8	R-2100-001-0080-1	Riki Wold	714 Stoneybrook Drive Wylie, Texas 75098
6	Blk 1	Westwind Meadows Lot 9	R-2100-001-0090-1	Ken Ryburn	716 Stoneybrook Drive Wylie, Texas 75098
7	Blk 1	Westwind Meadows Lot 10	R-2100-001-0100-1	James Rice	718 Stoneybrook Drive Wylie, Texas 75098
8	Blk 1	Westwind Meadows Lot 11	R-2100-001-0110-1	Larry Payne	720 Stoneybrook Drive Wylie, Texas 75098
9	Blk 2	Westwind Meadows Lot 8	R-2100-002-0080-1	Kenneth Garrett	714 Flagstone Way Wylie, Texas 75098
10	Blk 2	Westwind Meadows Lot 9	R-2100-002-0090-1	Progress Residential	6617 N. Scottsdale Road #101 Scottsdale, AZ 85250
11	Blk 2	Westwind Meadows Lot 10	R-2100-002-0100-1	John Godwin	718 Flagstone Way Wylie, Texas 75098
12	Blk 2	Westwind Meadows Lot 11	R-2100-002-0110-1	Nicholas Klein	719 Stoneybrook Drive Wylie, Texas 75098
13	Blk 2	Westwind Meadows Lot 12	R-2100-002-0120-1	Richard Torres	717 Stoneybrook Drive Wylie, Texas 75098
14	Blk 2	Westwind Meadows Lot 13	R-2100-002-0130-1	Paul Tetreault	715 Stoneybrook Drive Wylie, Texas 75098
15	Blk 3	Westwind Meadows Lot 8	R-2100-003-0080-1	Robert Bryant II	714 Meadow Lane Wylie, Texas 75098
16	Blk 3	Westwind Meadows Lot 9	R-2100-003-0090-1	Shane Svoboda	716 Meadow Lane Wylie, Texas 75098
17	Blk 3	Westwind Meadows Lot 10	R-2100-003-0100-1	Denis Kimani	718 Meadow Lane Wylie, Texas 75098
18	Blk 3	Westwind Meadows Lot 11	R-2100-003-0110-1	Richard Woodard	719 Flagstone Way Wylie, Texas 75098

19	Blk 3	Westwind Meadows Lot 12	R-2100-003-0120-1	Francis LeJeune	717 Flagstone Way Wylie, Texas 75098
20	Blk 3	Westwind Meadows Lot 13	R-2100-003-0130-1	Quest IRA, Inc.	17171 Park Row #107 Houston, Texas 77084
21	Blk 4	Westwind Meadows Lot 8	R-2100-004-0080-1	Jimmy Watson	718 Westwind Way Wylie, Texas 75098
22	Blk 4	Westwind Meadows Lot 9	R-2100-004-0090-1	Jaime Botero	720 Westwind Way Wylie, Texas 75098
23	Blk 4	Westwind Meadows Lot 10	R-2100-004-0100-1	Citi Mortgage, Inc.	14700 Citicorp Drive Hagerstown, MD 21742
24	Blk 4	Westwind Meadows Lot 11	R-2100-004-0110-1	Mark Sampson	719 Meadow Lane Wylie, Texas 75098
25	Blk 4	Westwind Meadows Lot 12	R-2100-004-0120-1	Jeffrey Lynes	717 Meadow Lane Wylie, Texas 75098
26	Blk 4	Westwind Meadows Lot 13	R-2100-004-0130-1	John Hallman	715 Meadow Lane Wylie, Texas 75098
27	Blk 5	Westwind Meadows Lot 8	R-2100-005-0080-1	Amanda Montgomery	717 Westwind Way Wylie, Texas 75098
28	Blk 5	Westwind Meadows Lot 9	R-2100-005-0090-1	Steven Trieu	418 High Point Drive Murphy, Texas 75094
29	Blk 5	Westwind Meadows Lot 10	R-2100-005-0100-1	Saul Hirschberg	721 Westwind Way Wylie, Texas 75098
30	Abst 267	Tract 8-9	R-6267-000-0089-1	Charlotte Stoeckle	PO Box 449 Mountville, PA 17554
31	Abst 267	Tract 9	R-6267-000-0090-1	Freshe PM, LLC	2089 N. Collins Boulevard #100 Richardson, Texas 75080
32	Abst 267	Tract 23	R-6267-000-0390-1	Edna Pockrus	2200 McCree Road Wylie, Texas 75098
33	Abst 267	Tract 39	R-6267-000-0390-1	Freshe PM, LLC	2089 N. Collins Boulevard #100 Richardson, Texas 75080
34	Abst 267	Tract 68	R-6267-000-0680-1	Danny Sellers	405 Alanis Drive Wylie, Texas 75098
35	Abst 292	Tract 25	R-6292-000-0250-1	William Delaney	3905 Skyline Drive Rowlett, Texas 75088
36	Abst 292	Tract 9	R-6292-000-0090-1	Jose Resendiz	308 Alanis Drive Wylie, Texas 75098
37	Abst 660	Tract 3	R-6660-000-0030-1	City of Wylie	300 Country Club Road Wylie, Texas 75098
38					
39					
40					



OWNER NOTIFICATION MAP
 ZONING CASE #2015-07

EXHIBIT P
STONE RANCH
Wylie, Texas

Westwood Professional Services

06/19/15

Description	Unit	Qty	Price	Amount
<u>PARK IMPROVEMENTS</u>				
8 ' Hike and Bike Trail	LF	1,500	42.00	63,000.00
Irrigation	LS	1	55,000.00	55,000.00
Trash Receptacles	EA	2	900.00	1,800.00
Parking Lot (10 spaces)	LS	1	25,000.00	25,000.00
Pet Stations	EA	2	800.00	1,600.00
Park Benches	EA	4	1,825.00	7,300.00
Picnic Tables	EA	2	2,250.00	4,500.00
Grass seeding and Sod park area	LS	1	32,000.00	32,000.00
Shade Trees 3.5 inch dia. (planted + Staked)	EA	25	475.00	11,875.00
Handicap Ramps	EA	2	800.00	1,600.00
Barn themed Playground with Silo Slide, Tactor, double covered bay swings and 2 spring animals. Installed with concrete edging with wood fiber base.	LS	1	185,000.00	185,000.00
Engineering / Staking	LS	1	30,000.00	30,000.00
Park Land Dedication	Acres	1.87	40,000.00	74,800.00
TOTAL PARK IMPROVEMENTS				\$493,475.00

-



Wylie City Council

AGENDA REPORT

Meeting Date: August 11, 2015
Department: Planning
Prepared By: Renaë' Ollie
Date Prepared: August 4, 2015

Item Number: 3
(City Secretary's Use Only)
Account Code: _____
Budgeted Amount: _____
Exhibits: 2

Subject

Hold a Public Hearing and consider, and act upon a change in zoning from Commercial Corridor (CC) to Planned Development – Light Industrial District (PD-LI) to allow Light industrial uses; on approximately 2 acres generally located west of Commerce Street and south of Business Way (710 Business Way). **ZC 2015-09**

Recommendation

Motion to approve a WITHDRAWAL for a zoning from Commercial Corridor (CC) to Planned Development – Light Industrial District (PD-LI) to allow Light industrial uses; on approximately 2 acres generally located west of Commerce Street and south of Business Way (710 Business Way). **ZC 2015-09**

Discussion

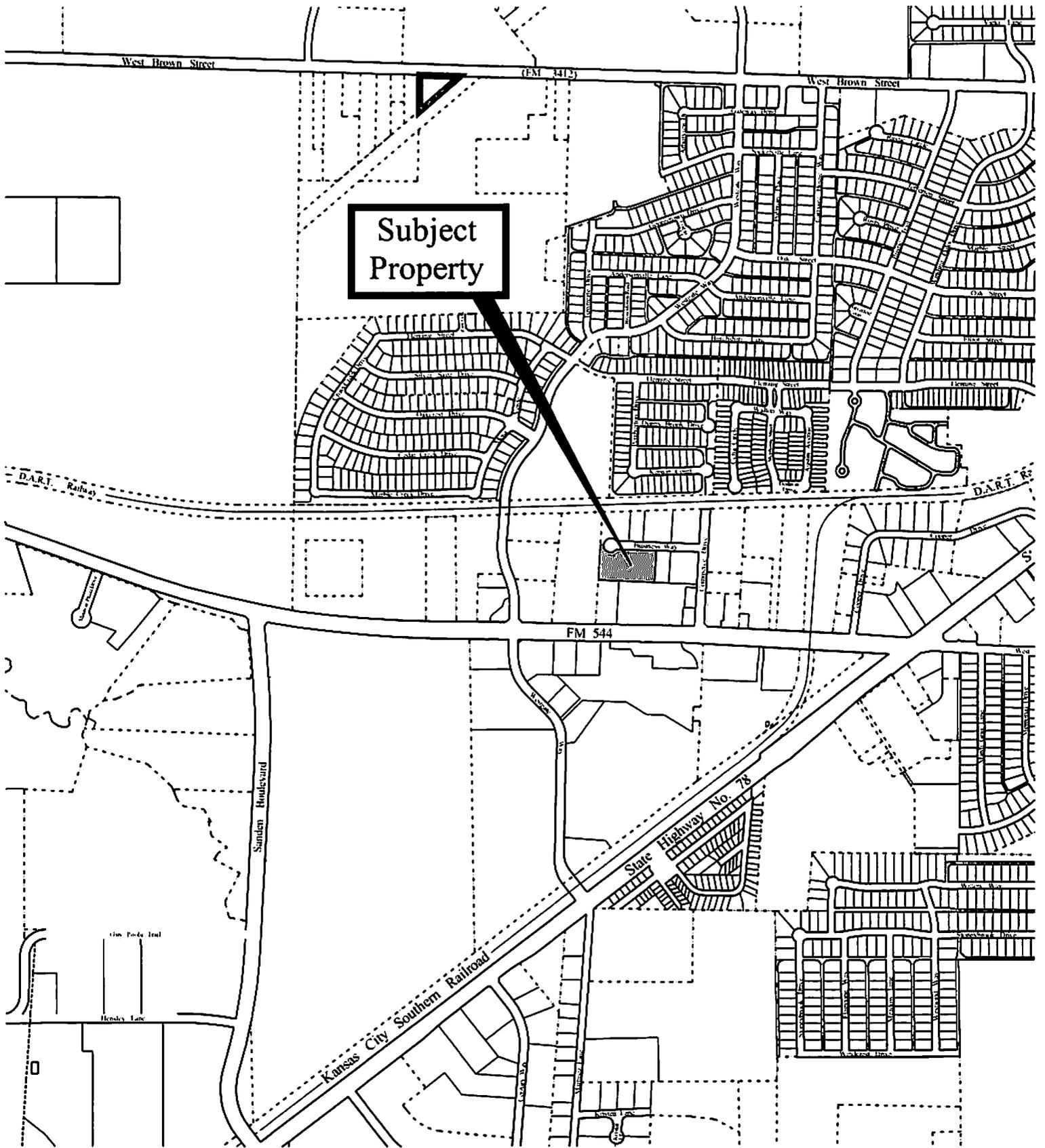
Owner: Td Linduff Real Estate, LP Applicant: Wylie Economic Development Corporation

The applicant was initially requesting to amend the zoning on approximately 2 acres of commercially zoned land to allow limited light industrial uses and to establish guidelines for such development.

After the posting of the agenda, but prior to the P&Z meeting, the applicant submitted a letter to withdraw the zoning case. However, since notices have been properly posted and advertised, the Council should open the Public Hearing and allow anyone to comment on the item and then accept the motion of the Commission to withdraw the case.

PLANNING & ZONING COMMISSION DISCUSSION:

The Planning and Zoning Commission voted 6-0 to recommend approval to withdraw the request.



LOCATION MAP
ZONING CASE #2015-09

Renaë Ollie

From: Sam Satterwhite
Sent: Tuesday, August 04, 2015 3:01 PM
To: Renaë Ollie
Subject: Re: ZC2015-09

Renaë:

The WEDC is formally withdrawing its zoning change request for the property on business way in Wylie.

Sam Satterwhite

Sent from my iPhone

On Aug 4, 2015, at 1:04 PM, Renaë Ollie <renaë.ollie@wylietexas.gov> wrote:

Hi Sam,
I need your email of withdrawal for the above case.

Thanks

<image001.gif>

Renaë Ollie, MCP
Director of Development Services
300 Country Club Road, Wylie, Tx 75098

Main: 972-516-6320 Direct: 972-516-6322

Get Involved, Stay Connected...

<image002.jpg> <image003.jpg> <image004.jpg> <image005.jpg> <image006.jpg>

WARNING: Computer viruses can be transmitted via email. The recipient should check this email and any attachments for viruses. The City is not liable for damages caused by the transmission of a virus attached to this email or any errors or omissions caused by the transmission of this email when such errors or omissions are outside of the control of the sender.

The views or opinions presented in this email are solely those of the author and do not necessarily represent those of the City of Wylie. Among other prohibitions, employees of the City of Wylie are prohibited from making defamatory statements; participating in any form of copyright, patent, or trademark infringement; and violating or allowing the violation of any local, state, or federal law. If any communication by an employee is in violation of these prohibitions, such communications shall be deemed contrary to the City's policies and outside the scope of the employment of that employee. The City shall not be liable for such communication, and the employee responsible will be personally liable for any damages or other liabilities.



Wylie City Council

AGENDA REPORT

Meeting Date: August 11, 2015
Department: Finance
Prepared By: Linda Bantz
Date Prepared: July 15, 2015

Item Number: 4
(City Secretary's Use Only)
Account Code: _____
Budgeted Amount: _____
Exhibits: Resolution, Property Tax
Distribution Calculations

Subject

Consider, and act upon, Resolution No. 2015-17 (R) of the City Council of the City of Wylie, Texas, accepting the proposed property tax rate for fiscal year 2015-2016, accepting the calculation of the effective tax rate, establishing dates for public hearings on the proposed property tax rate, and providing for the publication as provided by the Texas Local Government Code, Section 140.010.

Recommendation

Motion approving Resolution No. 2015-17 (R) of the City Council of the City of Wylie, Texas, accepting the proposed property tax rate for fiscal year 2015-2016, accepting the calculation of the effective tax rate, establishing dates for public hearings on the proposed property tax rate, and providing for the publication as provided by the Texas Local Government Code, Section 140.010.

Discussion

The City is required by law to follow certain meeting and notice (publication) guidelines identified in the "Truth in Taxation" guide. In accordance with the "Truth in Taxation" laws of the State of Texas, the effective and rollback tax rates and other information must be published and two public hearings must be held if an entity's proposed tax rate exceeds the lower of either the effective tax rate or the rollback tax rate. This year's effective tax rate is \$0.860898 and the rollback tax rate is \$0.889895.

The proposed 2015-16 budget is based on a tax rate of \$0.8689 per \$100 valuation. Any change in the proposed tax rate will require revision of the proposed budget. Since the proposed tax rate exceeds the effective tax rate the City Council is required to vote on the proposed tax rate and publish required information at least seven (7) days prior to the first scheduled public hearing on August 25, 2015. A second public hearing is scheduled for September 1, 2015. The Council may not adopt the tax rate at these hearings. At each hearing, it must announce the date, time and place of the meeting at which it will adopt the tax rate. This meeting must take place no less than three (3) days and no more than fourteen (14) days after the second public hearing. The City Council's vote on the tax rate is scheduled for September 8, 2015.

The official detailed effective tax rate calculation is available in the office of the Collin County Tax Assessor/Collector (Kenneth L. Maun) in McKinney. A copy is also maintained in the Finance Department for the Council and public to view.

RESOLUTION NO. 2015-17(R)

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS, ACCEPTING THE PROPOSED PROPERTY TAX RATE FOR FISCAL YEAR 2015-2016; ACCEPTING THE CALCULATION OF THE EFFECTIVE TAX RATE; ESTABLISHING DATES FOR PUBLIC HEARINGS ON THE PROPOSED PROPERTY TAX RATE; AND PROVIDING FOR THE PUBLICATION AS PROVIDED BY THE TEXAS LOCAL GOVERNMENT CODE, SECTION 140.010.

WHEREAS, the City of Wylie has received the calculated effective tax rate as presented by the Collin County Tax Assessor/Collector's Office; and

WHEREAS, the proposed tax rate exceeds the effective tax rate and the Statute requires two public hearings in order to allow the City Council to consider acceptance and adoption of an ordinance levying a proposed rate of \$0.8689 per \$100 valuation; and

WHEREAS, the Texas Local Government Code, as amended by adding Section 140.010, provides the specific procedures in which to consider the proposed tax rate;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS:

SECTION 1. The City Council of the City of Wylie, Texas, does hereby accept the rate of \$0.8689 per \$100 valuation as the proposed property tax rate for fiscal year 2015-2016.

SECTION 2. The City Council of the City of Wylie, Texas, met in a public meeting on August 11, 2015, and accepted this resolution with a majority vote.

SECTION 3. Public hearings shall be held on August 25, 2015, and September 1, 2015, at 6:00 p.m. in the City Council Chambers at the Wylie Municipal Complex, 300 Country Club Road, Wylie, Texas, to receive public comment regarding the proposed tax rate.

DULY PASSED AND APPROVED by the City Council of the City of Wylie, Texas, on this the 11th day of August 2015.

Eric Hogue, Mayor

ATTEST:

Carole Ehrlich, City Secretary

PROPERTY TAX DISTRIBUTION CALCULATIONS

	FY2015-16	FY2014-15
	Tax Year 2015	Tax Year 2014
TAX ROLL:		
Assessed Valuation (100%)	\$ 2,921,053,864	\$ 2,618,781,455
Rate per \$100	0.868900	0.878900
Tax Levy Freeze Adjusted	25,381,037	23,016,471
Tax Levy - Frozen (Disabled / Over 65)*	1,288,090	1,161,841
Total Tax Levy	26,669,127	24,178,312
Percent of Collection	100%	100%
Estimated Current Tax Collections	\$ 26,669,127	\$ 24,178,312

SUMMARY OF TAX COLLECTIONS:

Current Tax	\$ 25,381,037	\$ 23,016,471
Revenue From Tax Freeze Property	1,288,090	1,161,841
Delinquent Tax	195,000	135,000
Penalty and Interest		
TOTAL TAX COLLECTIONS	\$ 26,864,127	\$ 24,313,312

	FY2015-16	FY2015-16	FY2015-16	FY2014-15
	TAX RATE	PERCENT	AMOUNT	AMOUNT
		OF TOTAL		
GENERAL FUND:				
Current Tax	\$ 0.611583		\$ 17,864,669	\$ 15,659,737
Revenue From Tax Freeze Property			906,687	790,517
Delinquent Tax			130,000	90,000
Penalty and Interest				
Total General Fund	\$ 0.611583	70.39%	\$ 18,901,356	\$ 16,540,254
DEBT SERVICE FUND:				
Current Tax	\$ 0.257317		\$ 7,516,368	\$ 7,356,733
Revenue From Tax Freeze Property			381,403	371,325
Delinquent Tax			65,000	45,000
Penalty and Interest				
Total Debt Service	\$ 0.257317	29.61%	\$ 7,962,771	\$ 7,773,058
DISTRIBUTION	\$ 0.868900	100.00%	\$ 26,864,127	\$ 24,313,312



AGENDA REPORT

Meeting Date: 8-11-15
Department: WEDC
Prepared By: Sam Satterwhite
Date Prepared: 7-31-15

Item Number: 5
(City Secretary's Use Only)
Account Code: _____
Budgeted Amount: _____
Exhibits: 2

Subject

Consider and act upon Resolution No. 2015-18(R) authorizing and approving a certain Certificate of Corporate Resolution 2015-01 (R) adopted by the Board of Directors of the Wylie Economic Development Corporation authorizing one or more loans in the aggregate amount of \$387,317.13 from The American National Bank of Texas and pledging the ½ cent sales tax for economic development as collateral to secure the repayment of said loan(s).

Recommendation

WEDC staff recommends that the Wylie City Council approve Resolution No. 2015-18(R) authorizing and approving a certain Certificate of Corporate Resolution 2015-01 (R) adopted by the Board of Directors of the Wylie Economic Development Corporation authorizing one or more loans in the aggregate amount of \$387,317.13 from The American National Bank of Texas and pledging the ½ cent sales tax for economic development as collateral to secure the repayment of said loan(s).

Discussion

The WEDC Board of Directors approved the attached Resolution on July 31, 2015 which authorizes the borrowing of \$387,317.13 from The American National Bank of Texas and the pledging of the WEDC ½ cent sales tax for economic development as collateral for the repayment of the same. \$185,000 of the total loan amount will be utilized to purchase a property from Cora Jones upon which K&M Automotive is currently doing business. The balance of \$202,317.13 will be used to refinance an existing note held by an individual from whom the EDC purchased a property on Commerce Street in Wylie with the new rate being 1% lower than the existing rate.

RESOLUTION NO. 2015-18(R)

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WYLIE,
COLLIN COUNTY, TEXAS, AUTHORIZING AND APPROVING A
CERTAIN RESOLUTION OF THE WYLIE ECONOMIC
DEVELOPMENT CORPORATION.**

WHEREAS, the Wylie Economic Development Corporation was established by ordinance of the Wylie City Council subsequent to an election to impose and assess a one-half cent sales tax for economic development within the City of Wylie;

WHEREAS, one of the purposes for which the Wylie Economic Development Corporation was established is to provide for the creation of jobs and increase the tax base of the City of Wylie;

WHEREAS, the Board of Directors of the Wylie Economic Development Corporation intends to recruit companies which will provide jobs and increase the tax base by implementing qualified projects;

WHEREAS, the Board of Directors of the Wylie Economic Development Corporation has duly adopted a Resolution that approves a one or more loans from the American National Bank of Texas in an aggregate amount of \$387,317.13 loan to assist the financing of qualified projects; and

WHEREAS, Section 501.204(a) of the Texas Local Government Code, as amended, (“the Act”) requires that the governing body of the City of Wylie approve the resolution of the Wylie Economic Development Corporation providing for the approval of the loan no more than sixty (60) days prior to the execution and delivery of the documents evidencing such debt.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WYLIE, COLLIN COUNTY, TEXAS, THAT:

1. **Section** The Wylie City Council approves the resolution(s) adopted by the Board of Directors of the Wylie Economic Development Corporation on the ____ day of _____, 2015 authorizing one or more loans in an aggregate amount of \$387,317.13 from the Bank and pledging the ½ cent sales tax for economic development as collateral to secure the repayment of loan(s).

2. **Section** This resolution was approved by the Wylie City Council at a council meeting duly posted in accordance with the Texas Open Meeting Act and at which a quorum was present and voting.

ADOPTED by the Wylie City Council on the 11th day of August, 2015.

APPROVED:

Eric Hogue, Mayor

ATTEST:

Carole Ehrlich, City Secretary

CERTIFICATE OF CORPORATE RESOLUTION 2015-01(R)

Date: 7/31, 2015

Corporation: Wylie Economic Development Corporation, a Texas Non-Profit Corporation

Date of Meeting of Board of Directors: July 31, 2015

We, the President and Secretary of the Corporation, certify the following facts:

1. The Corporation is a Texas Non-Profit Development Corporation, organized and operating under the Development Corporation Act, Chapter 501 of the Texas Local Government Code, is qualified to do business, and in good standing.

2. No proceedings for forfeiture of the certificate of incorporation or for voluntary or involuntary dissolution of the Corporation are pending.

3. Neither the articles of incorporation nor the bylaws of the Corporation limit the Board of Directors to adopt the resolution below.

4. The President and Secretary are the persons authorized to make and sign this resolution.

5. The Secretary keeps the records and minutes of the proceedings of the Board of Directors of the Corporation, and the resolution below is an accurate reproduction of the one made in those proceedings; it has not been altered, amended, rescinded, or repealed; and it is now in effect.

6. The resolution below was legally adopted at a legally called meeting of the Board of Directors pursuant to the Texas Open Meetings Act.

7. The following resolutions were adopted by the Board of Directors:

“RESOLVED, the Corporation approves the terms and conditions of the Loan Documents, including but not limited to, a Promissory Note and Security Agreement in order to borrow the sum of \$387,317.13 from the American National Bank of Texas to fund the refinance the seller note to purchase 605 Commerce Street, Wylie, Texas and to fund a portion of the purchase price of the property located at 106 N. Buckingham Street, Wylie, Texas, in order to promote the economic development in the City of Wylie;

“RESOLVED FURTHER, that as security for the \$387,317.13 loan from the American National Bank that the Corporation pledge the use and sales tax revenues it receives from the City of Wylie;

"RESOLVED FURTHER, that the President, Marvin Fuller, is hereby authorized in the name of this Corporation and as its own act to execute the Promissory Note, the Security Agreement and all other documents necessary to borrow \$387,317.13 from The American National Bank of Texas to the Corporation and to pledge the Corporation's sales and use tax receipts as security for such Note; and

"RESOLVED FURTHER, that the Secretary of the Corporation is directed to certify the minutes of this meeting and the contents of these resolutions and to deliver the certification in support of the authority of the Directors named above to act on behalf of this Corporation."

WYLIE ECONOMIC DEVELOPMENT CORPORATION,

a Texas Non-Profit Corporation



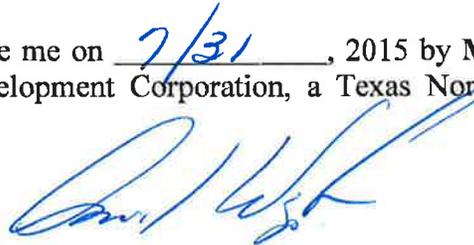
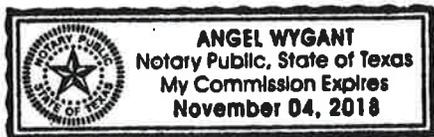
Marvin Fuller, President



John Yeager, Secretary

STATE OF TEXAS §
 §
COUNTY OF COLLIN §

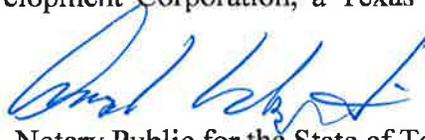
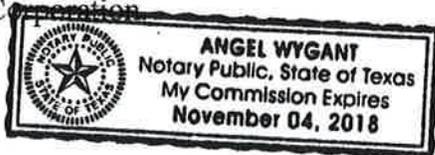
This instrument was acknowledged before me on 7/31, 2015 by **Marvin Fuller**, President of the Wylie Economic Development Corporation, a Texas Non-Profit Corporation.



Notary Public in and for
The State of Texas

STATE OF TEXAS §
 §
COUNTY OF COLLIN §

This instrument was acknowledged before me on 8/3, 2015 by **John Yeager**, Secretary of the Wylie Economic Development Corporation, a Texas Non-Profit Corporation.



Notary Public for the State of Texas