

# Planning & Zoning Commission



## July 21, 2015

### Regular Business Meeting



# Wylie Planning and Zoning Commission

## NOTICE OF MEETING

**Regular Meeting Agenda  
Tuesday, July 21, 2015 – 6:00 p.m.  
Wylie Municipal Complex – Conference Room 230  
300 Country Club Road, Building #100**

**Ron Smith**..... Commissioner  
**Dennis Larson**..... Commissioner  
**David Williams** ..... Commissioner  
**Mike McCrossin** ..... Commissioner  
**Randy Owens** ..... Commissioner  
**Jerry Stiller** ..... Commissioner  
**Sonia Ahmed**..... Commissioner

**Renaè Ollie** ..... Planning Director  
**Jasen Haskins**..... Sr. Planner  
**Mary Bradley**..... Administrative Assistant

*In accordance with Section 551.042 of the Texas Government Code, this agenda has been posted at the Wylie Municipal Complex, distributed to the appropriate news media, and posted on the City website: [www.wylietexas.gov](http://www.wylietexas.gov) within the required time frame. As a courtesy, the entire Agenda Packet has also been posted on the City of Wylie website: [www.wylietexas.gov](http://www.wylietexas.gov).*

*The Chair and Commissioners request that all cell phones and pagers be turned off or set to vibrate. Members of the audience are requested to step outside the Council Chambers to respond to a page or to conduct a phone conversation.*

*The Wylie Municipal Complex is wheelchair accessible. Sign interpretation or other special assistance for disabled attendees must be requested 48 hours in advance by contacting the City Secretary’s Office at 972.516.6020.*

*Hearing impaired devices are available from the City Secretary prior to each meeting.*

### CALL TO ORDER

*Announce the presence of a Quorum.*

### INVOCATION & PLEDGE OF ALLEGIANCE

### ELECTION OF CHAIR AND VICE CHAIR

1. A motion to remove from Table.
2. A motion to nominate Vice Chair.
3. A motion to nominate Chair.

## CITIZENS COMMENTS ON NON-AGENDA ITEMS

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*Residents may address Commissioners regarding an item that is not listed on the Agenda. Residents must provide their name and address. The Commission requests that comments be limited to three (3) minutes. In addition, the Commissioners are not allowed to converse, deliberate or take action on any matter presented during citizen participation.*

## CONSENT AGENDA

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1. Consider and act upon approval of the Minutes from July 7, 2015, Regular Meeting.

## REGULAR AGENDA

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### Regular Agenda

1. Consider and act upon recommendation to the City Council for Final Plat Bozman Farms Phase 5 (PD 2002-52), establishing 193 single family residential lots and two open space lots on 69.071 acres, generally located at Collins Boulevard and Troy Road.

### Public Hearing

1. Hold a Public Hearing and consider, and act upon a recommendation to the City Council regarding a change of zoning from Agricultural (A/30) to Planned Development-Single-Family (PD-SF), for single-family residential development on approximately 21 acres, located on the north side of Alanis Drive approximately 1400' west of S. Ballard Ave. **ZC 2015-07**
2. Hold a Public Hearing and consider, and act upon a recommendation to the City Council regarding a change of zoning from Agricultural-30 (AG/30) to Planned Development-Single-Family (PD-SF), to allow for residential uses of varied densities on approximately 45 acres, generally located west of E. Stone Road and approximately 2,100 feet south of Brown Street. **ZC 2015-08**

## ADJOURNMENT

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## CERTIFICATION

*I certify that this Notice of Meeting was posted on the 17th day of July, 2015 at 5:00 p.m. as required by law in accordance with Section 551.042 of the Texas Government Code and that the appropriate news media was contacted. As a courtesy, this agenda is also posted on the City of Wylie website: [www.wylietexas.gov](http://www.wylietexas.gov).*

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Carole Ehrlich, City Secretary

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Date Notice Removed

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# Wylie Planning and Zoning Commission

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## Minutes

**Wylie Planning & Zoning Commission**  
**Tuesday July 7, 2015 – 6:00 pm**  
**Wylie Municipal Complex – Council Chambers**  
**300 Country Club Road, Building 100**

### **CALL TO ORDER**

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Chair Ron Smith called the meeting to order at 6:00 PM. In attendance were; Commissioner Sonia Ahmed, Commissioner Randy Owens, and Commissioner Jerry Stiller. Vice Chair Dennis Larson, Commissioner Mike McCrossin and Commissioner David Williams were all absent.

Staff present was Renae' Ollie, Planning Director and Mary Bradley, Administrative Assistant

### **INVOCATION & PLEDGE OF ALLEGIANCE**

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Commissioner Owens gave the invocation and Commissioner Stiller led the Pledge of Allegiance.

### **ELECTION OF CHAIR AND VICE CHAIR**

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Chair Smith asked for a motion to table the election of chair and vice chair.

A motion was made by Commissioner Owens, and seconded by Commissioner Stiller. Motion carried 4 – 0.

### **CITIZENS COMMENTS**

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Chair Smith opened the Citizens Participation. With no one approaching the Commissioners, Chair Smith closed the Citizens Participation.

### **CONSENT ITEMS**

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1. Consider and act upon approval of the Minutes from the June 2, 2015, Regular Meeting.

#### **Board Action**

A motion was made by Commissioner Stiller and seconded by Commissioner Ahmed to approve the minutes as submitted. Motion carried 4 – 0.

## **REGULAR AGENDA**

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### **Regular Agenda**

#### **Item 1**

Consider and act upon a recommendation to the City Council regarding a Final Plat for the Alanis Crossing Phase II Subdivision, creating 42 single-family residential lots on 26.239 acres, generally located northwest of FM 544 and Alanis Drive.

#### **Staff Presentation**

Correction was made the consideration is for a Preliminary Plat and not a Final Plat.

Ms. Ollie stated that the plat will create 42 single-family residential lots within a Planned Development Ordinance 2015-02, on 26.339 acres.

The plat shows large landscape buffers along Alanis, and FM 544, as well as the adjacent existing single-family residential lot. All buffers will be maintained by the HOA.

#### **Board Discussion**

The Commissioners questioned the use allowed on Lot 1, Block A. Mr. Ryan Joyce, Skorburg stated that a single-family residential structure will be developed on the lot. The lot was odd shape due to the design of the development.

#### **Board Action**

A motion was made by Commissioner Stiller, and seconded by Commissioner Owens to recommend approval to City Council with correction for Preliminary Plat Alanis Crossing, Phase II. Motion carried 4 – 0.

### **Public Hearing**

#### **Item 1 – ZC 2015-05**

Hold a Public Hearing and consider, and act upon a recommendation to the City Council regarding a change of zoning from Single Family Residential (SF 10/24) District to Neighborhood Service (NS), to allow an engineering firm to operate business. Property generally located at 634 North Ballard. ZC 2015-05

#### **Staff Presentation**

Ms. Ollie stated that the request is change zoning from residential use to Neighborhood Services for an engineering office. The property is under two acres.

The structure is a two story brick exterior, and approximately 5,400 square feet in size.

The applicant is requesting Neighborhood Services, which is less intense from the Commercial Corridor uses, which are typically along Highway 78 and FM 544. Neighborhood Services caters more to small retail uses, some restaurants, and general office.

Thirty notifications were sent to property owners within 200 feet of the proposal. No comment forms were received in favor, and thirteen comment forms were received all in opposition of the request.

The initial discussions with the applicant included the widening of Ballard/Parker Road. Currently, the road is two lane, and in 2018 the County has plans to widen Parker/Ballard Road to a four lane divided. The structure is not conducive to a single family residential use abutting onto a four lane divided major roadway.

The exterior of the building meets the requirements for the façade, so no work is required. The use requires fourteen parking spaces, so parking adjustments shall be made to meet the ordinance.

The engineering firm is purchasing the property, and will use the structure as an office use with no outside storage or large trucks.

Ms. Kristen Die, 710 E Park Boulevard, Plano, Texas, controller for the engineering firm, stated that the structure located behind the house is a barn/shed. There are no plans to remove or use at this time. The parking is planned to be in front and to the side of the house.

Mr. Scott Crumb, 710 E Park Boulevard, Plano, Texas, senior partner, stated that the engineering firm designs linear utilities for telecommunications. The number of employees may extend to ten, but currently have five. No trees will be torn down.

### **Public Comments**

Chair Smith opened the Public Hearing.

Citizens speaking in opposition of the proposal were; Mr. Matthew Dement, 102 Fairmount, Ms. Gloria Ray Jordan, 602 Grassy Glen Drive, Mr. David Kiser, 506 Grassy Glen, and Mr. John Knight, 101 Windsor Drive; all expressing concern for long term uses in cases the engineering office sells; the traffic and the type of use allowed. A concern was expressed for possible flooding for the residents within Harvest Bend.

Chair Smith closed the Public Hearing.

### **Board Discussion**

The Commissioners discussed the straight zoning versus the Planned Development. Ms. Ollie stated that if the engineering office sold the property, the uses allowed by

right within the Neighborhood Service District would be allowed. The applicant can choose to withdraw the request and request a Planned Development, limiting only general office uses allowed.

Chair Smith stated that adjacent to the subject property is a vacant property, which could be sold and developed as Neighborhood Services also.

### **Board Action**

A motion was made by Commissioner Owens, and seconded by Commissioner Ahmed to recommend approval to the City Council for zoning change from Single Family Residential to Neighborhood Services. ZC 2015-05 Motion carried 4 – 0.

### **Item 2 – ZC 2015-06**

Hold a Public Hearing and consider, and act upon a recommendation to the City Council amending Planned Development (2015-03 & 2005-24) Braddock Place Phase IV to allow three car garages with front entry. ZC 2015-06

### **Staff Presentation**

Ms. Ollie stated that the intent of the proposal is to modify the regulations of the number of garage doors that can face a public street. The subject property is part of the Braddock Place Planned Development Ordinance 2015-03 and overall Ordinance 2005-24. The Final Plat Phase Four was approved in 2013 and created 77 single-family residential lots.

The applicant is submitting the request on behalf of the builders, requesting three car garages for lots less than 12,000 square feet, and to allow all to face the street. The builders are stating that a J-Swing driveway takes up a majority of the front yard. Currently, the PD 2015-03 allows no more than two garage doors to face the street on lots that are less than 12,000 square feet.

Thirty-one notifications were mailed to property owners within 200 feet. No comment forms were received in favor, and two comment forms were received in opposition.

### **Public Comments**

Chair Smith opened the Public Hearing.

Mr. Ryan Joyce, Skorburg, 8214 Westchester, Suite 710, Dallas, 75225, stated that the development will create seven lots that are larger than 12,000 square feet. There are approximately 70 lots that are less than 12,000 square feet, and the request is for these lots. Currently, the PD allows for minimum two car garage facing the street. The request is strictly completely market driven, and the consumers desire the three car garages to face the street.

Front garage doors must be an architectural upgraded door and contain decorative door hardware.

Chair Smith closed the Public Hearing.

**Board Action**

A motion was made by Commissioner Owens, and seconded by Commissioner Ahmed, to recommend approval to the City Council for Zoning Change 2015-06, Braddock Place Phase 4. Motion carried 4 – 0.

**ADJOURNMENT**

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A motion was made by Commissioner Ahmed and seconded by Commissioner Owens to adjourn the meeting at 7:20PM. All Commissioners were in consensus.

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**Ron Smith, Chair**

ATTEST:

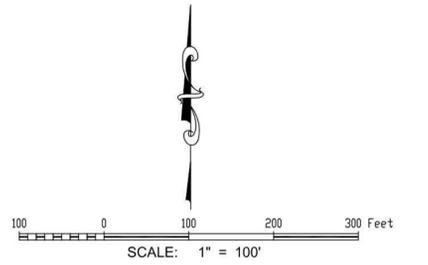
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**Mary Bradley, Administrative Assistant**

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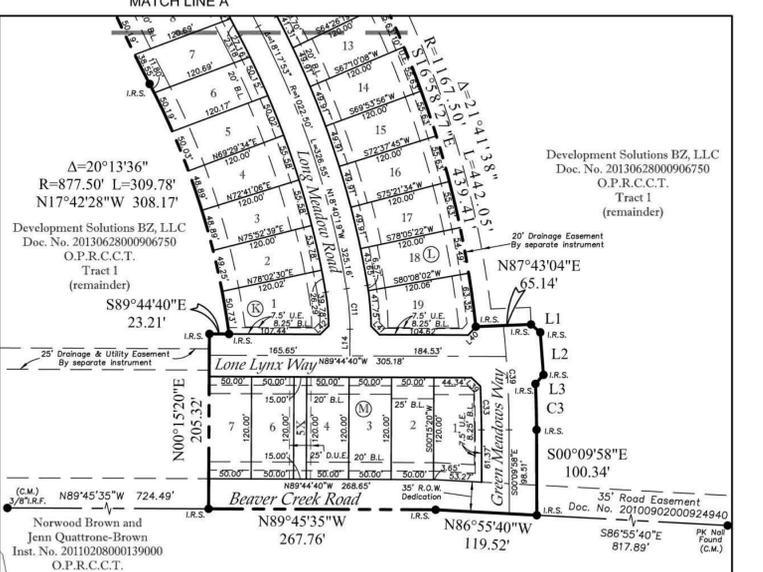
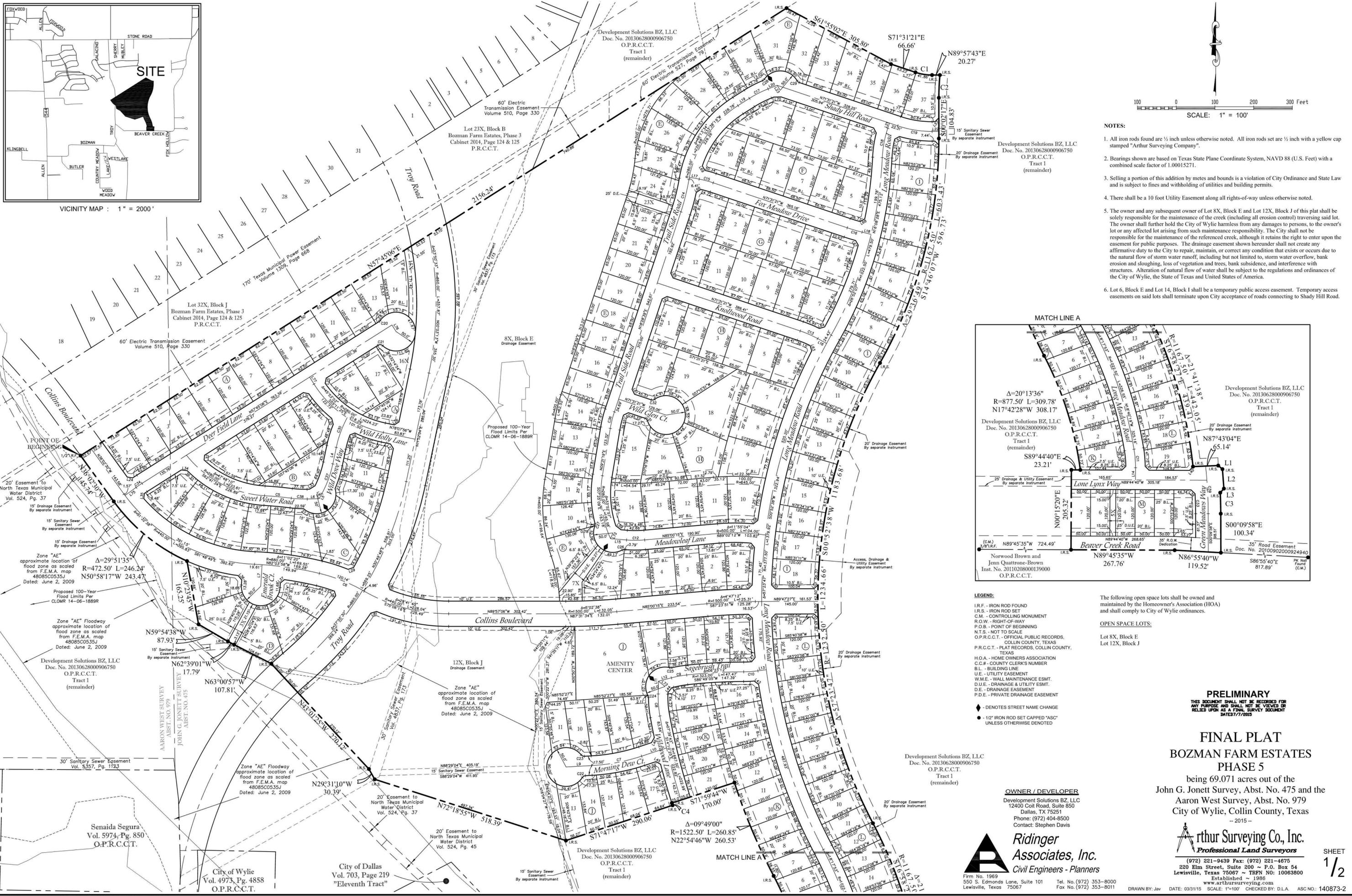


VICINITY MAP : 1" = 2000'



NOTES:

- All iron rods found are 1/2 inch unless otherwise noted. All iron rods set are 1/2 inch with a yellow cap stamped "Arthur Surveying Company".
- Bearings shown are based on Texas State Plane Coordinate System, NAVD 88 (U.S. Feet) with a combined scale factor of 1.00015271.
- Selling a portion of this addition by metes and bounds is a violation of City Ordinance and State Law and is subject to fines and withholding of utilities and building permits.
- There shall be a 10 foot Utility Easement along all rights-of-way unless otherwise noted.
- The owner and any subsequent owner of Lot 8X, Block E and Lot 12X, Block J of this plat shall be solely responsible for the maintenance of the creek (including all erosion control) traversing said lot. The owner shall further hold the City of Wylie harmless from any damages to persons, to the owner's lot or any affected lot arising from such maintenance responsibility. The City shall not be responsible for the maintenance of the referenced creek, although it retains the right to enter upon the easement for public purposes. The drainage easement shown hereunder shall not create any affirmative duty to the City to repair, maintain, or correct any condition that exists or occurs due to the natural flow of storm water runoff, including but not limited to, storm water overflow, bank erosion and sloughing, loss of vegetation and trees, bank subsidence, and interference with structures. Alteration of natural flow of water shall be subject to the regulations and ordinances of the City of Wylie, the State of Texas and United States of America.
- Lot 6, Block E and Lot 14, Block J shall be a temporary public access easement. Temporary access easements on said lots shall terminate upon City acceptance of roads connecting to Shady Hill Road.



**LEGEND:**  
 I.R.F. - IRON ROD FOUND  
 I.R.S. - IRON ROD SET  
 C.M. - CONTROLLING MONUMENT  
 R.O.W. - RIGHT-OF-WAY  
 P.O.B. - POINT OF BEGINNING  
 N.T.S. - NOT TO SCALE  
 O.P.R.C.C.T. - OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS  
 P.R.C.C.T. - PLAT RECORDS, COLLIN COUNTY, TEXAS  
 H.O.A. - HOME OWNERS ASSOCIATION  
 C.C.# - COUNTY CLERK'S NUMBER  
 B.L. - BUILDING LINE  
 U.E. - UTILITY EASEMENT  
 W.M.E. - WALL MAINTENANCE ESMT.  
 D.U.E. - DRAINAGE & UTILITY ESMT.  
 D.E. - DRAINAGE EASEMENT  
 P.D.E. - PRIVATE DRAINAGE EASEMENT

• DENOTES STREET NAME CHANGE  
 ◆ 1/2" IRON ROD SET CAPPED "ASC" UNLESS OTHERWISE DENOTED

The following open space lots shall be owned and maintained by the Homeowner's Association (HOA) and shall comply to City of Wylie ordinances.

**OPEN SPACE LOTS:**  
 Lot 8X, Block E  
 Lot 12X, Block J

**PRELIMINARY**  
 THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT DATED 7/7/2015

**FINAL PLAT**  
**BOZMAN FARMESTATES**  
**PHASE 5**

being 69.071 acres out of the  
 John G. Jonett Survey, Abst. No. 475 and the  
 Aaron West Survey, Abst. No. 979  
 City of Wylie, Collin County, Texas  
 -- 2015 --

**OWNER / DEVELOPER**  
 Development Solutions BZ, LLC  
 12400 Coit Road, Suite 850  
 Dallas, TX 75251  
 Phone: (972) 404-8500  
 Contact: Stephen Davis

**Ridinger Associates, Inc.**  
 Civil Engineers - Planners  
 Firm No. 1969  
 550 S. Edmonds Lane, Suite 101  
 Lewisville, Texas 75067  
 Tel. No. (972) 353-8000  
 Fax No. (972) 353-8011

**Arthur Surveying Co., Inc.**  
 Professional Land Surveyors  
 (972) 221-9439 Fax: (972) 221-4675  
 220 Elm Street, Suite 200 ~ P.O. Box 54  
 Lewisville, Texas 75067 ~ TRN NO: 10063800  
 Established ~ 1986  
 www.arthursurveying.com

DATE: 03/31/15 SCALE: 1"=100' CHECKED BY: D.L.A. ASC: 140873-2  
 DRAWN BY: Jay



# Wylie Planning and Zoning Commission

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## AGENDA REPORT

**Meeting Date:** July 21, 2015  
**Department:** Planning  
**Prepared By:** Jasen Haskins  
**Date Prepared:** July 14, 2015

**Public Hearing Item Number:** 1  
**Zoning Case Number** 2015-07  
**Exhibits:** Location Map, Exhibits (A, B, C, P), Notification List/Map and Responses

### Subject

Hold a Public Hearing and consider, and act upon a recommendation to the City Council regarding a change of zoning from Agricultural (A/30) to Planned Development-Single-Family (PD-SF), for single-family residential development on approximately 21 acres, located on the north side of Alanis Drive approximately 1400' west of S. Ballard Ave. **ZC 2015-07**

### Recommendation

Motion to recommend approval to the City Council regarding a change of zoning from Agricultural (A/30) to Planned Development-Single-Family (PD-SF), for single-family residential development on approximately 21 acres, located on the north side of Alanis Drive approximately 1400' west of S. Ballard Ave. **ZC 2015-07**

### Discussion

**Owner:** Milford Founders, LP & Freshe PM, LLC

**Applicant:** Douglas Properties, Inc.

The applicant is requesting to establish permanent zoning on approximately 21 acres of land, as Phase II of a Planned Development which was approved in January of 2015. Phase I contains a historical house known as "The Stone House" and the overall theme of that development will continue in Phase II.

The PD specifies minimum lot size of 7,200 s.f. with 25% of the lots having a minimum dwelling size of 1,800 sf. or greater, 35% being 2,000 sf or greater, and 40% being 2,200 sf or greater. Maximum number of lots shall not exceed 95 lots. No alleys are required within the property. The proposal sets 5 feet as the minimum side yard requirement and 10 feet for corner lots. Front yard setbacks are proposed for 20 feet. All lots which back onto park land shall provide a wrought iron fence of uniform design to be installed by the homebuilder. Maintenance of the park area will be the responsibility of the HOA.

Properties to the north and west are developed as single-family residential dwellings on average lot sizes of 7,700 s.f. and have been platted as Westwind Meadows Subdivision since the late seventies. Southplace Estates located east of the subject tract across Ballard has been developed since 2002 as single-family residential dwellings with minimum allowed lot sizes of 8,500 s.f. and average lot sizes of 10,000 s.f.

An eight foot Hike & Bike Trail, with six feet in front of dwellings will be installed to achieve a link in the city park system. Distinctive striping and buttons or similar approved by city engineer shall be installed at trail crossings. The proposed case will have single loaded streets along open space/parkland. Landscape features as well as screening wall will be installed along Alanis & Ballard (Stone Ranch 1).

Exterior materials shall be a minimum of 80% brick or masonry stucco, with 20% being window boxes, gables, or other architectural elements. The 20% architectural element does not include siding. Wood, vinyl siding and EIFS shall not be used for exterior walls.

A minimum of five platted lots shall be skipped on the same side of the street and three lots must be skipped on the opposite side of a street before rebuilding the same single family residential unit with an identical or nearly identical street elevation design.

Garage doors may be located on the primary street elevation with an upgraded insulated door with carriage hardware.

The Parks Board considered the dedication and park improvements per the attached Exhibit "A" and recommended approval on July 13, 2015.

Notification/Responses: Thirty-Seven (37) notifications were mailed; with no responses returned at the time of posting.

**Approved By**

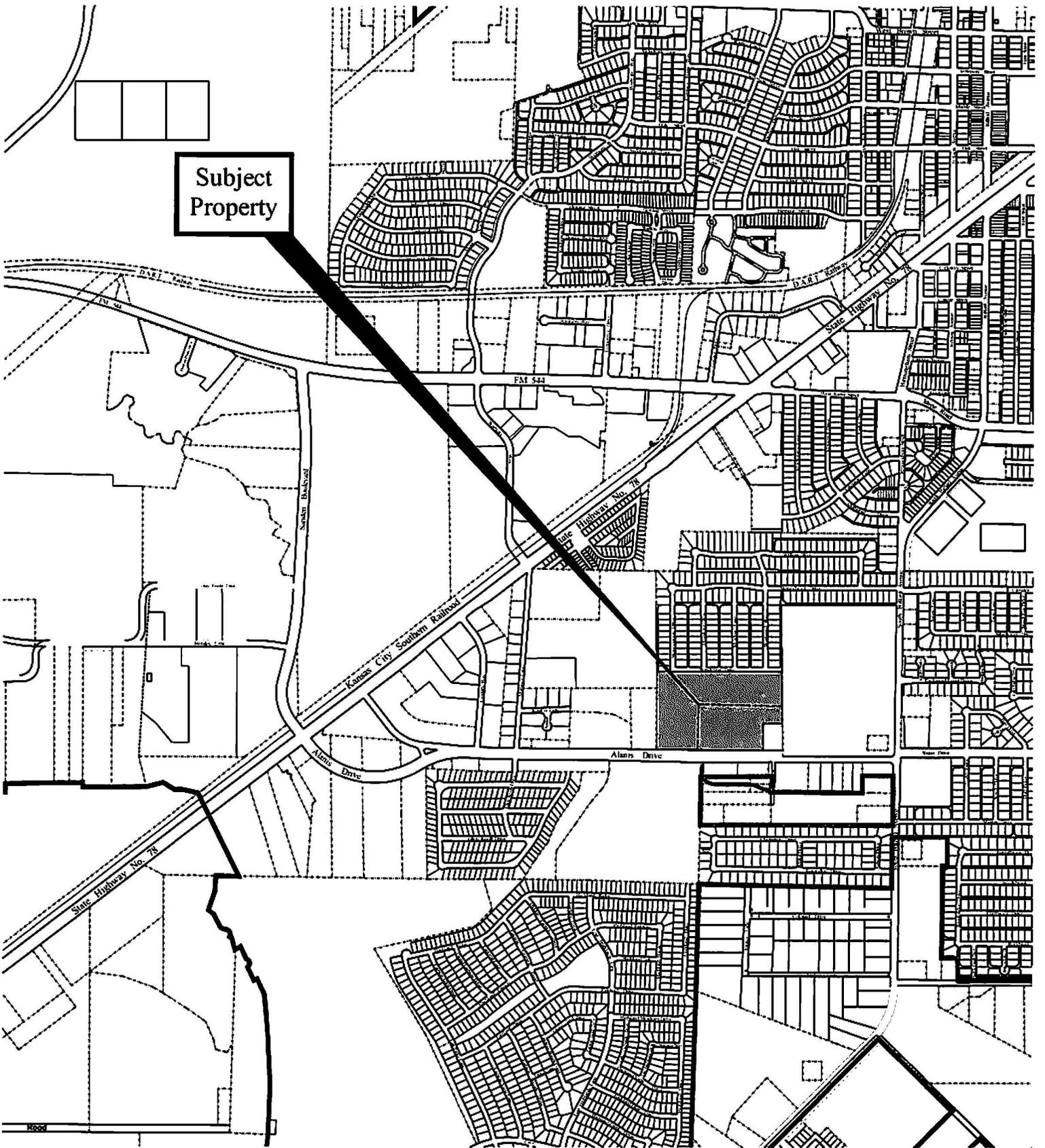
*Initial*

*Date*

**Department Director**

RO

07-15-15



# LOCATION MAP

## ZONING CASE #2015-07

# EXHIBIT A

## STONE RANCH Wylie, Texas

Westwood Professional Services

06/19/15

Description	Unit	Qty	Price	Amount
<b><u>PARK IMPROVEMENTS</u></b>				
8 ' Hike and Bike Trail	LF	1,500	42.00	63,000.00
Irrigation	LS	1	55,000.00	55,000.00
Trash Receptacles	EA	2	900.00	1,800.00
Parking Lot ( 10 spaces )	LS	1	25,000.00	25,000.00
Pet Stations	EA	2	800.00	1,600.00
Park Benches	EA	4	1,825.00	7,300.00
Picnic Tables	EA	2	2,250.00	4,500.00
Grass seeding and Sod park area	LS	1	32,000.00	32,000.00
Shade Trees 3.5 inch dia. ( planted + Staked )	EA	25	475.00	11,875.00
Handicap Ramps	EA	2	800.00	1,600.00
Barn themed Playground with Silo Slide, Tactor, double covered bay swings and 2 spring animals. Installed with concrete edging with wood fiber base.	LS	1	185,000.00	185,000.00
Engineering / Staking	LS	1	30,000.00	30,000.00
Park Land Dedication	Acres	1.87	40,000.00	74,800.00
<b>TOTAL PARK IMPROVEMENTS</b>				<b>\$493,475.00</b>

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**EXHIBIT "B"**  
**CONDITIONS FOR PLANNED DEVELOPMENT**  
**ZONING CASE No. \_\_\_\_\_**

**I. GENERAL CONDITIONS:**

1. This planned Development District shall not affect any regulations within the Code of Ordinances, except as specifically provided herein.
2. All regulations of the Single Family 10/24 set forth in Article 3, Section 3.2 of the Comprehensive Zoning Ordinance (adopted as of May 2011) are hereby replaced with the following:

<b>Figure 3-4 - Planned Development – Single Family (PD – SF)</b>	
<b>Lot Size (<i>Minimum</i>)</b>	
Lot Area (sq. ft.)	7,200
Lot Width (feet)	60
Lot width of corner Lots (feet)	65
Lot Depth (feet)	100
Lot Depth of Double Front Lots (feet)	110
<b>Dwelling Regulations</b> (Minimum Square Footage)	
25% of the lots	1,800
35% of the lots	2,000
40% of the lots	2,200
Design Standards Level of Achievement	See Section III Design Conditions
<b>Yard Requirements – Main Structures</b>	
Front Yard (feet)	20
Side Yard (feet)	5
Side Yard of Corner Lots (feet)	10
Side Yard of Corner Lots (feet) on key lots	20
Rear Yard (feet)	15
Rear Yard Double Front Lots (feet)	20
Lot Coverage	50%
<b>Height of Structures</b>	
Main Structure (feet)	40
Accessory Structure (feet)	14

## **II. SPECIAL CONDITIONS:**

1. Maximum number of residential lots not to exceed 95 lots.
2. Key lots are defined as a corner lot which is backing up to an abutting side yard.
3. Three-tab roofing shall not be permitted.
4. No alleys shall be required within the Planned Development.
5. Developer shall install a screening wall where lots back or side to Alanis or Ballard with a 4 ft side walk.
6. Lots which back onto park land shall provide a decorative iron fence of uniform design to be installed by the homebuilder, as approved by the Planning Department.
7. The Development Plan attached as Exhibit "C" shall serve as the Preliminary Plat.
8. Existing trees greater than 6 inch caliper within the flood plain shall be protected in accordance with City's Tree Preservation Plan.
9. Open space, drainage & floodway easement, and public hike & bike trail shall be dedicated to the City of Wylie in accordance with City's Subdivision Regulations.

### **10. Maintenance of the Park Area**

Maintenance of the park area will be the responsibility of the homeowners' association (HOA).

- A. Developer will be the contact entity with the City for all concerns regarding maintenance of park and open space until 100% of HOA control is turned over to the homeowners.
- B. HOA maintenance and responsibilities of amenities include:
  - a. Clean up and litter removal.
  - b. Landscaping installation, care, and maintenance.
  - c. Trimming, clearing, and removal of unwanted vegetation as determined by the City Park Division.
  - d. Maintain irrigation system, pay for the water used in the system and test all backflow devices annually as per City requirements.
  - e. Maintain benches, tables, concrete trail, and any other installed improvements, per Exhibit "P". Coordinate with the City Park Department prior to the replacement or removal of any improvement for consistency with City Park standards.
- C. City responsibilities of amenities include:
  - a. Perform playground safety inspections by qualified personnel.

11. All Park Amenities as described in **Exhibit "P"** and as approved by the City Parks Department, shall be installed prior to the issuance of a Certificate of Occupancy.

## **IV. DESIGN CONDITIONS:**

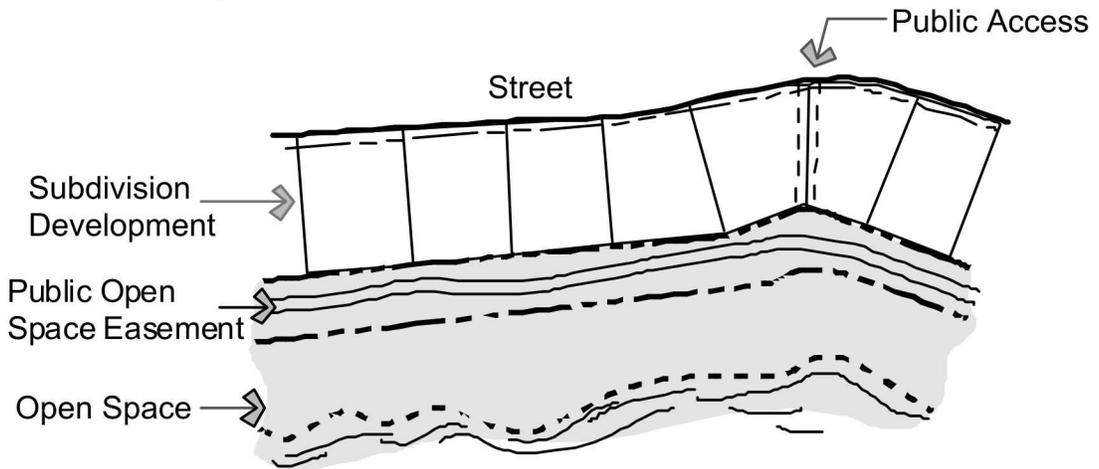
**A. Land Design Standards – New Residential Requirements**

Desired Land Design requirements are achieved by projects in accordance with Exhibit “P” and the following criteria:

**1. Provision of Public Pathways - Public Open Space**

**a. Base Standard**

- (1) Trail shall be constructed to the City’s standards. Open space parkland shall be in accordance with **Exhibit “P”** as adopted by this ordinance.
  - (a) 8’ Hike & Bike Trail, with 6’ in front of dwellings, achieving link in city trail system.
  - (b) Additional improvements shall be done to Stone Ranch Phase 1 open space and will be coordinated by the Wylie Parks Department.
  - (c) Distinctive striping and buttons or similar approved by city engineer shall be installed at trail crossings.
- (2) The public pathway system easement(s) shall be connected along existing or planned utility rights-of-way and/or public property lines to any existing or planned public trail system on abutting land. Locate the public open space easement to provide for future connections to be made by others across intervening property to any existing or planned public trail system on land that does not abut the development.



**b. Desirable Design Attributes**

Single-loaded Street along open space and access per **Exhibit “P”**.

**2. Provision of Public Pathway – Perimeter Walkways and Landscape**

**a. Base Standard**

- (1) Per **Exhibit “P”** and coordinate improvements with the City of Wylie.

(2) Landscaping and Tree Preservation shall be in accordance with **Exhibit “C”**.

The following trees and shrubs are recommended for landscaping and screening purposes and shall be of a species common or adaptable to this area of Texas:

1. Large Trees:
  - Pecan Red Oak
  - Burr Oak Water Oak
  - Southern Magnolias Live Oak
  - Bald Cypress
2. Small Trees:
  - Yaupon Hollies Crape Myrtle
  - Wax Myrtle Cherry Laurel
  - Red Bud Japanese Black Pine
  - Cedar Elm
3. Evergreen Shrubs:
  - Red Tip Photinia Burford Holly
  - Nellie R. Stevens Chinese Holly
  - Yaupon Holly Clearra
  - Nandinnia Dwarf Crape Myrtle
  - Japanese Ligustrum Waxleaf Ligustrum
  - Abelia Junipers
  - Barberry Asian Jasmine
  - Honeysuckle English Ivy
  - Boston Ivy Liriope
  - Monkey Grass Virginia Creeper
  - Vinca Mondon Grass
  - Ophia Pogon Elaeagnus
  - Purple Sage Pistachio

The following trees are discouraged for landscaping and screening purposes:

- Silver Maple Hackberry
- Green Ash Arizona Ash
- Mulberry Cottonwood
- Mimosa Syberian Elm
- American Elm Willow
- Sycamore Bradford Pear

**b. Desirable Design Attributes**

None

**3. Lighting and Furnishings Along Open Space, Easements and Trails**

**a. Base Standard**

- (1) Benches with backs installed per **Exhibit “P”**
- (2) Provide distinctive striping and buttons or similar cross-walks approved by city engineer at street connectors.
- (3) 8’ wide distinctive striping and buttons or similar approved by city engineer at main entry; 6 ft wide at interior street connectors per **Exhibit “P”**

**b. Desirable Design Attributes**

- (1) Additional improvements shall be done to Stone Ranch Phase 1 open space and will be coordinated by the Wylie Parks Department., per Exhibit “P”.
- (2) 8’ wide distinctive striping and buttons or similar approved by city engineer crossing at main entry;

**B. Street and Sidewalk Standards – New Residential Requirements**

Desired street and sidewalk requirements are achieved in accordance with the following criteria:

**1. Street Treatments – Entry Features and Signage at Entries**

**a. Base Standard**

Architectural features on stone monument (no brick) with landscaping and incorporated into open space area and illuminated by means other than street lights.

**b. Desirable Design Attributes**

Decorative iron accent panels or 2 or more different type/color of stone (can be synthetic or cultured).



**2. Street Treatments – Street Name Signs**

**a. Base Standard**

Block numbers shall be incorporated with street lighting that is coordinated throughout the subdivision.

**b. Desirable Design Attributes:**

None

**3. Street Treatments – Pedestrian Crosswalks**

**a. Base Standard**

All crosswalks within a Residential development are to be 8 feet wide at trail crossings with distinctive striping and buttons or similar approved by city engineer and must connect to a pedestrian sidewalk system with pedestrian ramps complying with the American with Disabilities Act, to provide a clear, continuous pedestrian and circulation system throughout a subdivision.

**b. Desirable Design Attributes:**

Provide 8 ft. wide, connected system of distinctive striping and buttons or similar approved by city engineer at Trail Crossing at Main Entry.

**4. Pedestrian Sidewalks - Sidewalk Locations**

**a. Base Standard**

4 feet wide concrete pedestrian sidewalks shall be located on both sides of the street, in the right-of-way of every internal street.

**b. Desirable Design Attributes:**

None

**5. Mail Boxes**

**a. Base Standard**

Mail boxes shall provide number plaque and brick to match the resident.

**b. Desirable Design Attributes:**

Same stone and brick as house exterior trim to mail boxes.

**6. Pedestrian Sidewalks - Sidewalk Lighting**

**a. Base Standard**

Decorative street lighting shall be provided along residential streets throughout all Residential Developments, providing low illumination with decorative poles with spacing ranging from 250 feet to 350 feet between lights placed on alternating sides of the street. A Street Lighting Plan must be submitted to the City Engineer for approval. The City Engineer is authorized to alter the distance requirement if needed in an effort to achieve the best lighting arrangement possible.



**b. Desirable Design Attributes:**

None

**7. Perimeter Alleys**

**a. Base Standard**

No Alleyways are required for the subdivision.

**b. Desirable Design Attributes:**

None

**C. Architectural Standards – New Residential Requirements**

**1. Building Bulk and Articulation**

**a. Base Standard**

In order to avoid large blank facades, variations in the elevation of residential facades facing a public street shall be provided in both the vertical and horizontal dimensions. At least 20 percent of the façade shall be offset a minimum of 1 foot either protruding from or recessed back from the remainder of the façade.

**b. Desirable Design Attributes:**

None

**2. House Numbers**

**a. Base Standard**

All single family residential units shall have lighted front stone wall plaque with resident address beside the main entry of the dwelling unit.

**b. Desirable Design Attributes:**

None

**3. Exterior Façade Material**

**a. Base Standard**

All single family residential units shall have a minimum of eighty (80) percent of the exterior facade composed of kiln-fired clay brick or masonry stucco with the balance being window boxes, gables, architectural shingle and etc., but not 20% siding, excluding windows, doors and other openings. Glazing shall not exceed twenty-five (25) percent of the front elevation of the residence. Dormers, second story walls or other elements supported by the roof structure may be composite masonry materials if approved by the Building Official as having the same durability as masonry or stone and when offset at least six (6) inches from the first floor exterior wall. Wood, vinyl siding and EIFS materials shall not be used for exterior walls.

**b. Desirable Design Attributes:**

None

**4. Exterior Facades – Porch**

**a. Base Standard**

Each single family residential unit shall have a combined total covered front, side or rear entry of a minimum of 120 total square feet of floor area.



**b. Desirable Design Attributes:**

Two or more sides of covered porches, or pitched cover incorporated into roof lines of house

**5. Exterior Facades - Chimneys**

**a. Base Standard**

Chimney flues for fireplace chimneys are to be within a chimney enclosed with masonry matching exterior walls of the residential unit and capped.

**b. Desirable Design Attributes:**

Fireplace chimneys shall incorporate 40 percent stone, matching the accent exterior façade materials of the house for houses with Chimneys.

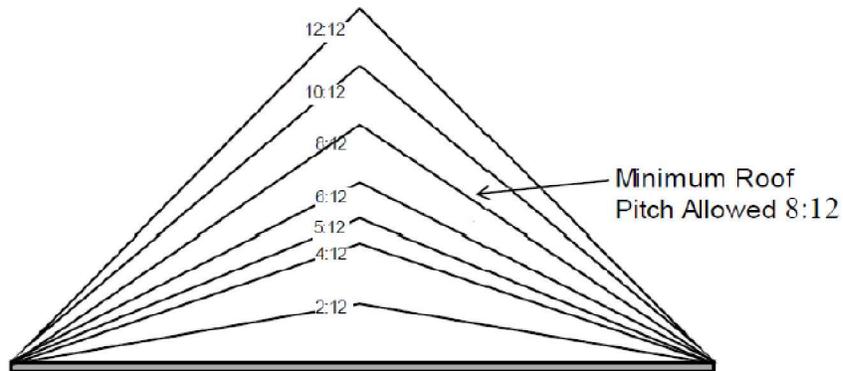
**6. Roofs and Roofing - Roof Pitch**

**a. Base Standard**

All single family residential units shall have a minimum roof pitch of 8:12, with articulation, dormers or a combination of hip and gable roofing.

**b. Desirable Design Attributes:**

None



**7. Roofs and Roofing - Roofing Materials**

**a. Base Standard**

All single family residential units shall have architectural-grade overlap shingles, tile or standing seam metal. Wood shingles are not permitted. Plumbing vents, attic vents, and other rooftop accessories are to be painted to match the roof shingle color.

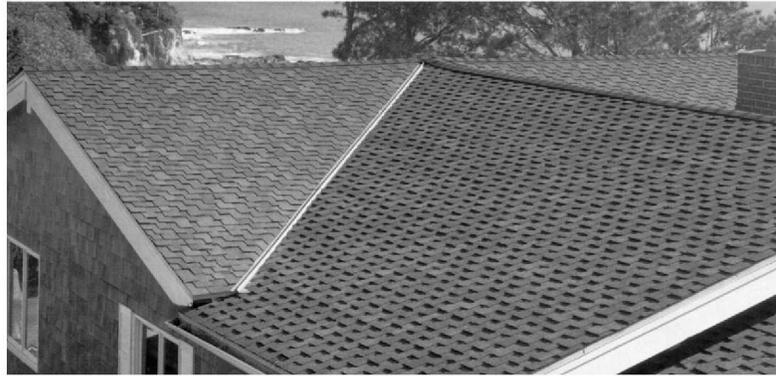
**b. Desirable Design Attributes:**

None

**8. Roofs and Roofing - Roof Eaves**

**a. Base Standard**

No wood fascia or soffits are permitted.



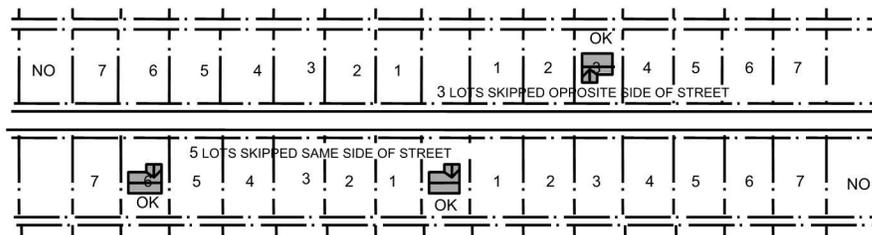
**b. Desirable Design Attributes:**

None

**9. Repetition of Residential Unit Designs – Repetition of Floor Plan and Elevation**

**a. Base Standard**

A minimum of five (5) platted residential lots must be skipped on the same side and three (3) lots must be skipped on the opposite side of a street before rebuilding the same single family residential unit with an identical (or nearly identical) street elevation design. The same floor plan shall not be repeated on neighboring, side by side lots or directly across the street.



Identical or nearly identical floor plan means that the layout, size and function of the rooms are essentially the same. Identical or nearly identical street elevation design means little or no variation in the articulation of the facade, height or width of facade, placement of the primary entrances, porches, number and placement of windows, and other major architectural feature. It does not mean similar colors, materials, or small details.

**b. Desirable Design Attributes:**

None

**10. Garage Entry**

**a. Base Standard**

Garage doors can be located on the primary street elevation of a single family residential unit with an upgraded insulated door with carriage hardware. The primary street would be the addressed street front. Garages may face the street on a corner lot side yard. Each garage shall be a minimum of 2 car garage.



**b. Desirable Design Attributes:**

None

**11. Dwelling Size**

**a. Base Standard**

The minimum square feet of floor space shall be (25%) of the houses 1,800 s.f. , (35%) of the houses 2,000 s.f. , (40%) of the houses 2,200 s.f. , measured within the outside dimensions of a residential dwelling unit including each floor level, but excluding carports, garages, and breezeways.

**12. Fencing**

**a. Base Standard**

- (1) Front yard fences (if provided) shall be permitted to a height of 4 feet maximum with minimum 50 percent transparency constructed of wood or wrought iron.
- (2) Side and rear yard fences (if provided) shall be permitted to a height of 8 feet maximum and constructed of wood with metal posts and rails to the inside.
- (3) Pressure treated wood is prohibited.

- (4) Fences shall be constructed of decorative iron next to public open space, and shall be minimum 4 ft in height.

**b. Desirable Design Attributes**

None

**13. Landscaping**

**a. Base Standard**

- (1) Each residential dwelling shall have sodded front, side, and rear yard with a minimum of 2 trees and 5 shrubs in front yard.
- (2) All landscaped areas must be kept in a healthy and growing condition. Any plant materials that die during a time of year where it is not feasible to replant shall be replaced as soon as possible.

**b. Desirable Design Attributes**

Each residential dwelling unit shall have an automated, subsurface irrigation system.

**14. Outdoor Lighting**

**a. Base Standard**

All residential dwelling units shall have an illuminated standard porch light at the front entry and drive/garage.

**b. Desirable Design Attributes**

Front façade and drive/garage shall be illuminated by coach lights on each side of the garage and front yard activity area illuminated and wired to the interior of the house.

**15. Conservation/Sustainability**

**a. Base Standard**

Each residential dwelling unit must comply with the Energy component of the Building Code.

**b. Desirable Design Attributes**

None



**III. DESIGN REGULATION CHART:**

**A. Land Design Requirements**

<b>A. Land Design Requirements (In Accordance with Exhibit “P”)</b>		
<b>ELEMENT</b>	<b>a. BASE STANDARD (ALL DEVELOPMENT MUST COMPLY FULLY WITH ALL LISTED BELOW)</b>	<b>b. DESIRABLE STANDARD (THE FOLLOWING DESIRABLES WILL BE ACHIEVED THROUGHOUT THE SUBDIVISION)</b>
Public Open Space	<ul style="list-style-type: none"> <li>a. Trail shall be constructed to the City’s standards.</li> <li>b. 6 &amp; 8 ft. hike &amp; bike trail and open space improvements, per Exhibit “P”.</li> <li>c. Provide benches per Exhibit “P”.</li> </ul>	Single-loaded street along open space.
Perimeter Walkways and Landscape	Coordinate with City of Wylie	
Lighting and Furnishings along open space easements and trails	<ul style="list-style-type: none"> <li>a. Per Exhibit “P”.</li> <li>b. Distinctive striping and buttons or similar approved cross-walks at street connections</li> <li>c. 6 ft at interior street connectors.</li> </ul>	<ul style="list-style-type: none"> <li>a. Additional improvements shall be done to Stone Ranch Phase 1 open space and will be coordinated by the Wylie Parks Department, per Exhibit “P”.</li> <li>b. 8 ft wide at main entry</li> </ul>

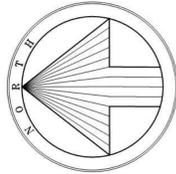
**B. Street and Sidewalk Requirements**

<b>B. Street and Sidewalk Requirements (For all Residential Districts)</b>	
<b>ELEMENT</b>	<b>BASE STANDARD (ALL DEVELOPMENT MUST COMPLY FULLY WITH ALL LISTED BELOW)</b>
	<b>b. DESIRABLE STANDARD (THE FOLLOWING DESIRABLES WILL BE ACHIEVED THROUGHOUT THE SUBDIVISION)</b>
Entry Features and Signage at Entries	Architectural features on stone monument (no brick) with landscaping and incorporated into open space area.
Street Name Signs	Including block numbers, incorporated with street lighting coordinated throughout.
Pedestrian Crosswalks	Connected system distinctive striping and buttons or similar approved by city engineer per Exhibit "p".
Sidewalk Locations	4 ft concrete, both sides of street.
Mail Boxes	Mail boxes shall provide number plaque and brick to match the resident.
Perimeter Alleys	No alleys are required.
	Decorative iron accent panels, or 2 or more different type/color of stone (can be synthetic or cultured).
	8 ft. wide, connected system distinctive striping and buttons or similar approved by city engineer at Trail Crossing.
	Stone and brick same as house exterior trim.

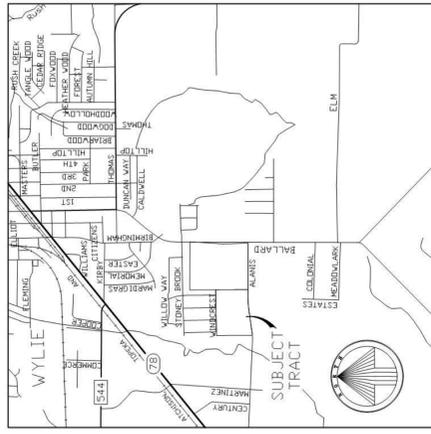
## C. Architectural Requirements

C. Architectural Requirements (For all Residential Districts)		
ELEMENT	BASE STANDARD (ALL DEVELOPMENT MUST COMPLY FULLY WITH ALL LISTED BELOW)	b. DESIRABLE STANDARD (THE FOLLOWING DESIRABLES WILL BE ACHIEVED THROUGHOUT THE SUBDIVISION)
Building Bulk and Articulation	Minimum 20% of street façade offset minimum 1 ft.	
House Numbers	Lighted front stone wall plaque beside main entry.	
Exterior Façade Material	80% brick or masonry stucco.	
Porch	120 square feet combined total covered front entry, rear entry or side entry.	Two or more sides of covered porches, or pitched cover incorporated into roof lines of house
Chimneys	Chimney enclosed with masonry matching exterior walls and capped	40% stone to match house accent material for houses with Chimneys.
Roof Pitch	8:12 minimum roof pitch; with articulation, dormers or hip/gable	
Roof Materials	Architectural-grade overlap shingles, tile or standing seam metal, no wood shingles, Paint rooftop accessories to match	
Roof Eaves	No wood fascia or soffit	
Repetition of floor plan and elevation	5 lots skipped on same side of street before repeating similar floor plan and elevation, 3 lots skipped opposite side of street, and no identical or flipped floor plans side by side or directly across street	

<b>C. Architectural Requirements Cont.</b> (For all Residential Districts)		
<b>ELEMENT</b>	<b>BASE STANDARD (ALL DEVELOPMENT MUST COMPLY FULLY WITH ALL LISTED BELOW)</b>	<b>b. DESIRABLE STANDARD (THE FOLLOWING DESIRABLES WILL BE ACHIEVED THROUGHOUT THE SUBDIVISION)</b>
Garage entry	<p>a. Garage doors can be located on the primary street elevation of a single family residential unit with and upgraded insulated door with carriage hardware. Garage shall be a minimum of 2 car garage.</p>	
Dwelling Size	Minimum dwelling size exclusive of garages and breezeways	
Fencing	<p>a. Front: 4 ft maximum height, minimum 50% transparent, wood or wrought iron.  b. Side/Rear: 8 ft maximum height, wood w/ metal posts &amp; rails to inside.  c. (No pressure treated wood).  d. 4 foot Decorative Iron Fence adjacent to the public open space.</p>	
Landscaping	Sod front, rear, and side yards and minimum 2 trees and 5 shrubs in front yard.	Automated, subsurface irrigation system
Outdoor Lighting	Front entry and drive/garage illuminated by standard porch light	Front façade and drive/garage shall be illuminated by coach lights on each side of the garage and front and side yard activity area illuminated and wired to the interior of the house.
Conservation/Sustainability	Complies with Energy component of Building Code	



GRAPHIC SCALE  
1" = 100'  
0 100 200



VICINITY MAP  
N.T.S.

LEGAL DESCRIPTION

Situated in the E. C. Davidson Survey, Abstract No. 267, in the City of Wylie, Collin County, Texas, and being a part of the 13,752 acre tract of land (Tract 1) and all of the 10,200 acre tract of land (Tract 2) conveyed to Freshie PM, LLC, recorded in Document No. 2014071400072710, of the Official Public Records, Collin County, Texas, and being more particularly described as follows:

**BEGINNING** at a 5/8 inch iron rod with yellow plastic cap stamped "WESTWOOD P5" set at the intersection of the south right-of-way line of Windcrest Drive with the east line of a 15' alley shown on plat of Westwood Meadows No. 3, an addition to the City of Wylie, of record in Cabinet 1, Page 463, Plat Records, Collin County, Texas;

**THENCE**, South 00 degrees 46 minutes 10 seconds East, along the east property line of a 37,8450 acre tract of land (Tract 4) and a part of the 1.0 acre tract of land (Tract 5) conveyed to Charlotte A. Shuckle as evidenced in Affidavit of Facts Concerning the Identity of Heirs recorded in Instrument 2012072000881009, distance of 529.85 feet to a 5/8 inch iron rod with yellow plastic cap stamped "WESTWOOD P5" set at the intersection of the south right-of-way line of Windcrest Drive with the east line of a 15' alley shown on plat of Westwood Meadows No. 3, an addition to the City of Wylie, of record in Cabinet 1, Page 463, Plat Records, Collin County, Texas;

**THENCE**, South 88 degrees 43 minutes 08 seconds West, a distance of 188.79 feet to the northwest corner of said Sellers and Small tract; **THENCE**, South 00 degrees 26 minutes 45 seconds East, a distance of 178.15 feet to a point on the said north right-of-way line of Alanis Drive;

**THENCE**, along the said north right-of-way of said Alanis Drive the following courses and distances:

South 88 degrees 43 minutes 04 seconds West, a distance of 198.19 feet to the beginning of a near-tangent curve to the left having a central angle of 16 degrees 31 minutes 55 seconds, a radius of 760.00 feet and a long chord that bears North 88 degrees 30' minutes 01 seconds West, a distance of 218.53 feet;

Along said curve to the left an arc distance of 219.29 feet;

South 85 degrees 14 minutes 03 seconds West, a distance of 300.70 feet to the beginning of a tangent curve to the left having a central angle of 11 degrees 02 minutes 31 seconds, a radius of 810.00 feet and a long chord that bears South 79 degrees 42' minutes 53 seconds West, a distance of 155.86 feet;

Along said curve to the left an arc distance of 156.10 feet;

South 74 degrees 11 minutes 38 seconds West, a distance of 140.10 feet to the southeast corner of the 3 acre tract of land described in deed to Edna Pockrus, recorded in Volume 3175, Page 185 of the said Official Public Records;

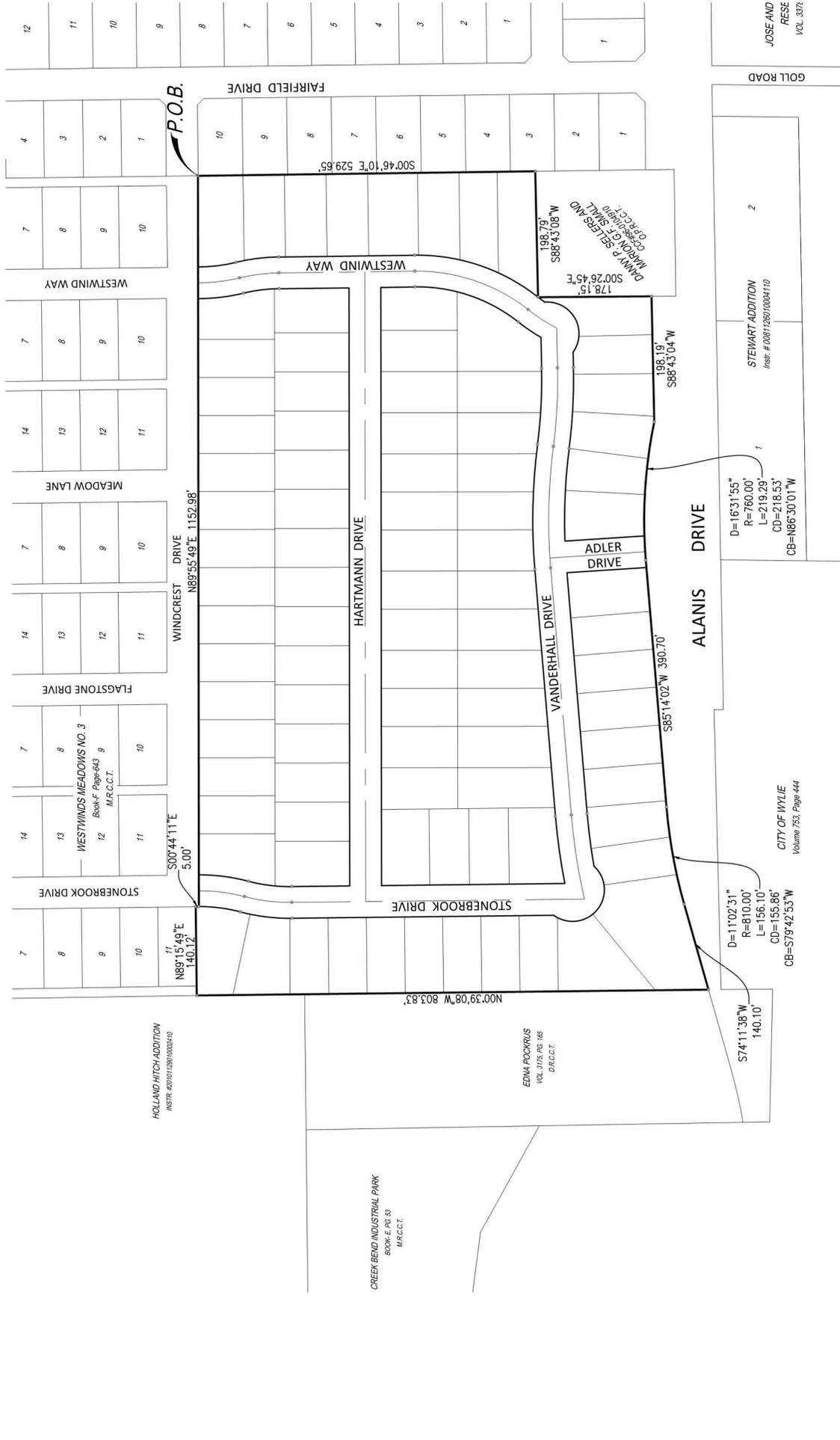
**THENCE**, North 00 degrees 39 minutes 08 seconds West, leaving said north right-of-way line of Alanis Drive, and along the east property line of said Edna Pockrus tract, a distance of 803.83 feet to the southwest corner Westwood Meadows No. 3, an addition to the City of Wylie, of record in Cabinet 1, Page 463, Plat Records, Collin County, Texas;

**THENCE**, along the south and east property line of said Westwood Meadows No. 3, the following courses and distances:

North 89 degrees 15 minutes 49 seconds East, a distance of 140.12 feet to the west right-of-way line of Stonebrook Drive (a 50' right-of-way);

South 00 degrees 44 minutes 11 seconds East, a distance of 5.00 feet to the intersection of said west right-of-way line of Stonebrook Drive and the south right-of-way line of Windcrest Drive (a 50' right-of-way);

North 89 degrees 55 minutes 49 seconds East, along said Windcrest Drive south right-of-way line, a distance of 1152.98 feet to the **POINT OF BEGINNING** and containing 20,162 acres or 301,364 square feet of land more or less.



JOSE AND RESE VOL. 337

STEWART ADDITION Plat: # 0081128010004110

D=1631.55"  
R=760.00"  
L=219.29"  
CD=218.53  
CB=N86 S0 01 W

CITY OF WYLIE Volume 733, Page 444

D=1102.31"  
R=810.00"  
L=156.10"  
CD=155.86"  
CB=S79 42 53 W

S74°11'38"W 140.10'

EDNA POKRUS VOL. 3175, PG. 185 CONJECT.

CREEK BEND INDUSTRIAL PARK BOOK-E PG. 53 M.R.C.C.T.

HOLLAND HITCH ADDITION ABSTRACT 267/130002/10

WESTWINDS MEADOWS NO. 3 Book-F Page-643 9 M.R.C.C.T.

EXHIBIT C  
OF  
**STONE RANCH PHASE 2**

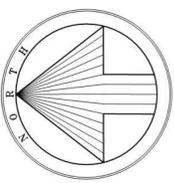
OUT OF THE  
**E.C. DAVIDSON SURVEY, ABSTRACT NO. 267**  
IN THE  
**CITY OF WYLIE, COLLIN COUNTY, TX**

OWNER  
**FRESHE PM, LLC.**  
2089 NORTH COLLINS BLVD., SUITE 100, RICHARDSON, TX, 75080  
DEVELOPER  
**DOUGLAS PROPERTIES, INC.**  
2309 K AVENUE, SUITE 100 PLANO, TX 75074  
972-422-1658

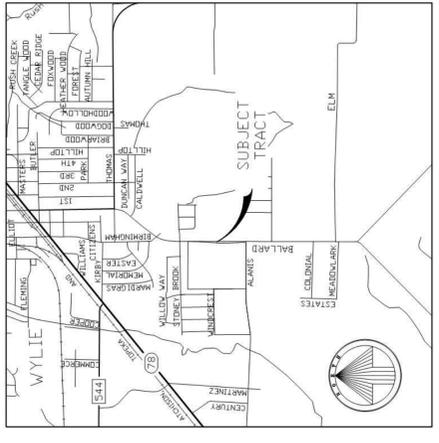
ENGINEER/SURVEYOR



20.7062 ACRES 06-10-2015 #0006550



GRAPHIC SCALE  
1" = 100'  
0 100 200



VICINITY MAP  
N.T.S.



1	JOSE AND NANETTE RESEBIZ VOL. 3378, PG. 427	2	BLAKEY ADDITION NO. 1 INSTR. #20080427010001650	1	BLAKEY ADDITION NO. 2 INSTR. #20120330010001220	2	JAMES AND ALICE BLAKEY VOL. 2380, PG. 66	14	TWIN LAKES SUBDIVISION Book-G Page-561
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EXHIBIT P  
OF

**STONE RANCH PHASE 2**  
OUT OF THE  
E.C. DAVIDSON SURVEY, ABSTRACT NO. 267  
IN THE  
CITY OF WYLIE, COLIN COUNTY, TX

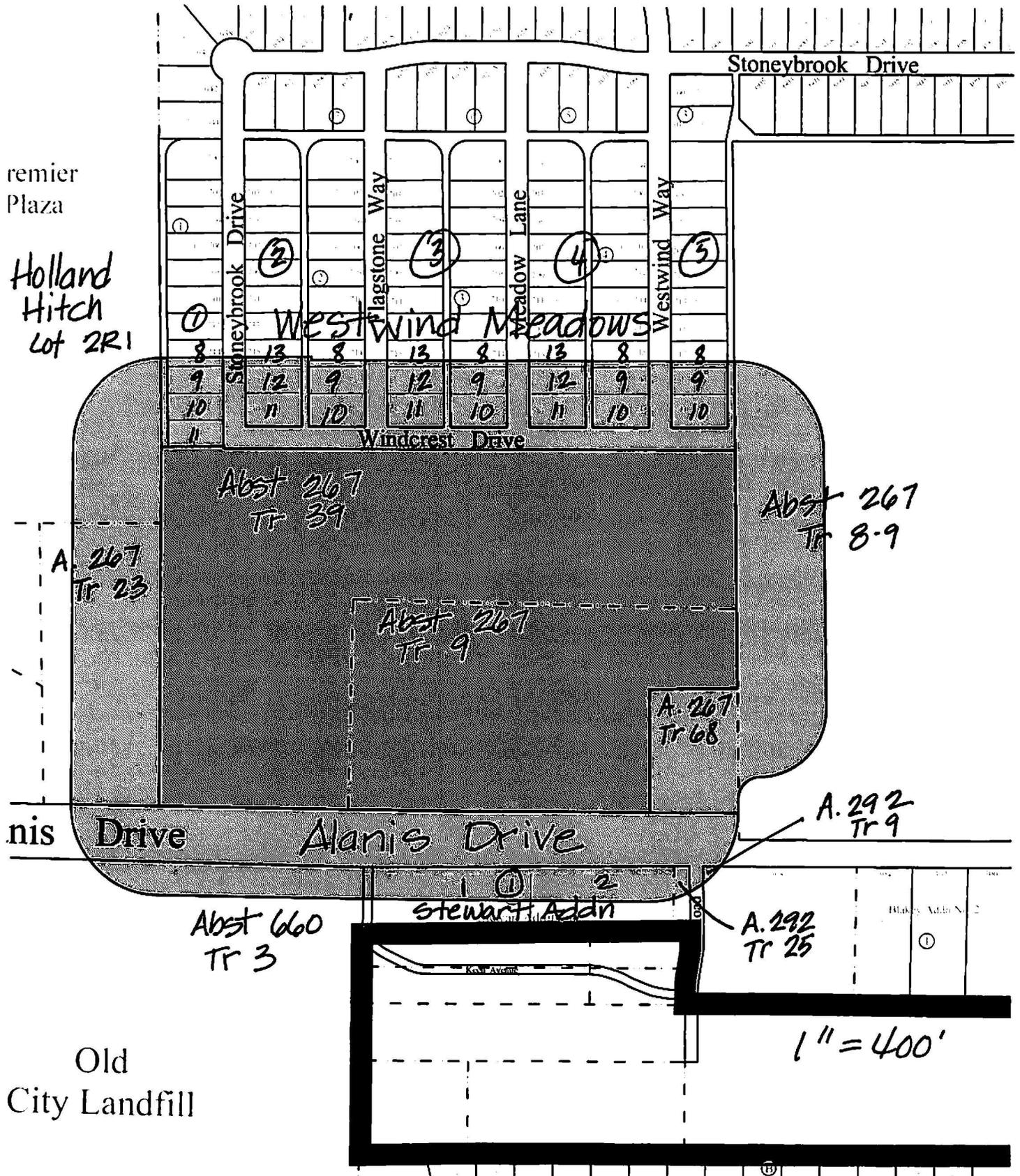
OWNER  
FRESHE PM, LLC.  
2089 NORTH COLLINS BLVD., SUITE 100 PLANO, TX. 75074  
DEVELOPER  
DOUGLAS PROPERTIES, INC.  
2309 K AVENUE, SUITE 100 PLANO, TX 75074  
972-422-1658  
ENGINEER/SURVEYOR



Westwood Professional Services, Inc.  
Phone: (214) 372-6640 Fax: (214) 372-6640  
Toll Free: (888) 937-5150 Plano, TX 75093  
Survey Firm Number: 10074301

- OPEN SPACE = 2.03 ACRES
- (△) HIKE & BIKE TRAIL
  - (□) DENOTES PLAYGROUND AREA) - 1
  - (□) DENOTES PARK BENCH) - 2
  - (□) DENOTES PICNIC TABLE) - 2
  - (□) DENOTES TRASH RECEPTACLES) - 1
  - (□) DENOTES PET STATION) - 1

EXACT LOCATION OF THE HIKE & BIKE TRAIL TO BE DETERMINED BY THE DEVELOPER AND CITY OF WYLIE



# OWNER NOTIFICATION MAP

## ZONING CASE #2015-07

# NOTIFICATION REPORT

APPLICANT: Jim Douglas with Douglas Properties, Inc.  
2309 Avenue K #100 Plano, Texas 75074

APPLICATION FILE #2015-07

#	BLK/ABST	LOT/TRACT	TAX I.D. #	PROPERTY OWNER NAME	ADDRESS
1				Applicant - Jim Douglas Douglas Properties, Inc.	2309 Avenue K #100 Plano, Texas 75074
2	Blk 1	Stewart Addition Lot 1	R-9694-001-0010-1	400 Alanis, LLC	228 Zachary Walk Murphy, Texas 75094
3	Blk 1	Lot 2	R-9694-001-0020-1	400 Alanis, LLC	228 Zachary Walk Murphy, Texas 75094
4	--	Holland Hitch Addn Lot 2R1	R-10068-000-02R1-1	Ascend Custom Extrusions, LLC	12001 N. Central Expwy #1120 Dallas, Texas 75243
5	Blk 1	Westwind Meadows Lot 8	R-2100-001-0080-1	Riki Wold	714 Stoneybrook Drive Wylie, Texas 75098
6	Blk 1	Westwind Meadows Lot 9	R-2100-001-0090-1	Ken Ryburn	716 Stoneybrook Drive Wylie, Texas 75098
7	Blk 1	Westwind Meadows Lot 10	R-2100-001-0100-1	James Rice	718 Stoneybrook Drive Wylie, Texas 75098
8	Blk 1	Westwind Meadows Lot 11	R-2100-001-0110-1	Larry Payne	720 Stoneybrook Drive Wylie, Texas 75098
9	Blk 2	Westwind Meadows Lot 8	R-2100-002-0080-1	Kenneth Garrett	714 Flagstone Way Wylie, Texas 75098
10	Blk 2	Westwind Meadows Lot 9	R-2100-002-0090-1	Progress Residential	6617 N. Scottsdale Road #101 Scottsdale, AZ 85250
11	Blk 2	Westwind Meadows Lot 10	R-2100-002-0100-1	John Godwin	718 Flagstone Way Wylie, Texas 75098
12	Blk 2	Westwind Meadows Lot 11	R-2100-002-0110-1	Nicholas Klein	719 Stoneybrook Drive Wylie, Texas 75098
13	Blk 2	Westwind Meadows Lot 12	R-2100-002-0120-1	Richard Torres	717 Stoneybrook Drive Wylie, Texas 75098
14	Blk 2	Westwind Meadows Lot 13	R-2100-002-0130-1	Paul Tetreault	715 Stoneybrook Drive Wylie, Texas 75098
15	Blk 3	Westwind Meadows Lot 8	R-2100-003-0080-1	Robert Bryant II	714 Meadow Lane Wylie, Texas 75098
16	Blk 3	Westwind Meadows Lot 9	R-2100-003-0090-1	Shane Svoboda	716 Meadow Lane Wylie, Texas 75098
17	Blk 3	Westwind Meadows Lot 10	R-2100-003-0100-1	Denis Kimani	718 Meadow Lane Wylie, Texas 75098
18	Blk 3	Westwind Meadows Lot 11	R-2100-003-0110-1	Richard Woodard	719 Flagstone Way Wylie, Texas 75098

19	Blk 3	Westwind Meadows Lot 12	R-2100-003-0120-1	Francis Lefeune	717 Flagstone Way Wylie, Texas 75098
20	Blk 3	Westwind Meadows Lot 13	R-2100-003-0130-1	Quest IRA, Inc.	17171 Park Row #107 Houston, Texas 77084
21	Blk 4	Westwind Meadows Lot 8	R-2100-004-0080-1	Jimmy Watson	718 Westwind Way Wylie, Texas 75098
22	Blk 4	Westwind Meadows Lot 9	R-2100-004-0090-1	Jaime Botero	720 Westwind Way Wylie, Texas 75098
23	Blk 4	Westwind Meadows Lot 10	R-2100-004-0100-1	Citi Mortgage, Inc.	14700 Citicorp Drive Hagerstown, MD 21742
24	Blk 4	Westwind Meadows Lot 11	R-2100-004-0110-1	Mark Sampson	719 Meadow Lane Wylie, Texas 75098
25	Blk 4	Westwind Meadows Lot 12	R-2100-004-0120-1	Jeffrey Lynes	717 Meadow Lane Wylie, Texas 75098
26	Blk 4	Westwind Meadows Lot 13	R-2100-004-0130-1	John Hallman	715 Meadow Lane Wylie, Texas 75098
27	Blk 5	Westwind Meadows Lot 8	R-2100-005-0080-1	Amanda Montgomery	717 Westwind Way Wylie, Texas 75098
28	Blk 5	Westwind Meadows Lot 9	R-2100-005-0090-1	Steven Trieu	418 High Point Drive Murphy, Texas 75094
29	Blk 5	Westwind Meadows Lot 10	R-2100-005-0100-1	Saul Hirschberg	721 Westwind Way Wylie, Texas 75098
30	Abst 267	Tract 8-9	R-6267-000-0089-1	Charlotte Stoeckle	PO Box 449 Mountville, PA 17554
31	Abst 267	Tract 9	R-6267-000-0090-1	Freshe PM, LLC	2089 N. Collins Boulevard #100 Richardson, Texas 75080
32	Abst 267	Tract 23	R-6267-000-0390-1	Edna Pocktrus	2200 McCree Road Wylie, Texas 75098
33	Abst 267	Tract 39	R-6267-000-0390-1	Freshe PM, LLC	2089 N. Collins Boulevard #100 Richardson, Texas 75080
34	Abst 267	Tract 68	R-6267-000-0680-1	Danny Sellers	405 Alanis Drive Wylie, Texas 75098
35	Abst 292	Tract 25	R-6292-000-0250-1	William Delaney	3905 Skyline Drive Rowlett, Texas 75088
36	Abst 292	Tract 9	R-6292-000-0090-1	Jose Resendiz	308 Alanis Drive Wylie, Texas 75098
37	Abst 560	Tract 3	R-6660-000-0030-1	City of Wylie	300 Country Club Road Wylie, Texas 75098
38					
39					
40					



# Wylie Planning and Zoning Commission

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## AGENDA REPORT

<b>Meeting Date:</b>	<u>July 21, 2015</u>	<b>Public Hearing Item Number:</b>	<u>2</u>
<b>Department:</b>	<u>Planning</u>		
<b>Prepared By:</b>	<u>Renae' Ollie</u>		
<b>Date Prepared:</b>	<u>July 10, 2015</u>	<b>Zoning Case Number</b>	<u>2015-08</u>
			<u>Location Map, Exhibits, Notification List/Map and Responses</u>
		<b>Exhibits:</b>	

### Subject

Hold a Public Hearing and consider and act upon a recommendation to the City Council regarding a change in zoning from Agricultural-30 (AG/30) to Planned Development-Single-Family (PD-SF), to allow for residential uses of varied densities on approximately 45 acres, generally located west of E. Stone Road and approximately 2,100 feet south of Brown Street.. **ZC 2015-08**

### Recommendation

Motion to recommend approval to the City Council regarding a change in zoning from Agricultural-30 (AG/30) to Planned Development-Single-Family (PD-SF), to allow for residential uses of varied densities on approximately 45 acres, generally located west of E. Stone Road and approximately 2,100 feet south of Brown Street.. **ZC 2015-08**

### Discussion

**Owner: Cross Country Villas, LLC & Dot Marie Kreymer      Applicant: Amalgamated Properties, LLC**

The applicant is requesting to establish permanent zoning on approximately 45 acres of land annexed into the city in April 2014. The subject property shall be developed in accordance with attached planned development conditions to accommodate a single family residential community of varied densities.

The conditions of the Planned Development (Exhibit "B") outline the regulations for the subject property.

Single-family residential units (PD-SF) with minimum lot sizes of 6,000 sf, with 50' widths. Lots along the southern and western property lines will have a minimum lot size of 7,200 sf, with 60' widths (Exhibit "C" Concept Plan). Dwelling sizes range from a minimum of 1,750 sf to 2,400 sf or greater, with 30% being 2,400 sf or greater. Maximum number of lots not to exceed 180 lots.

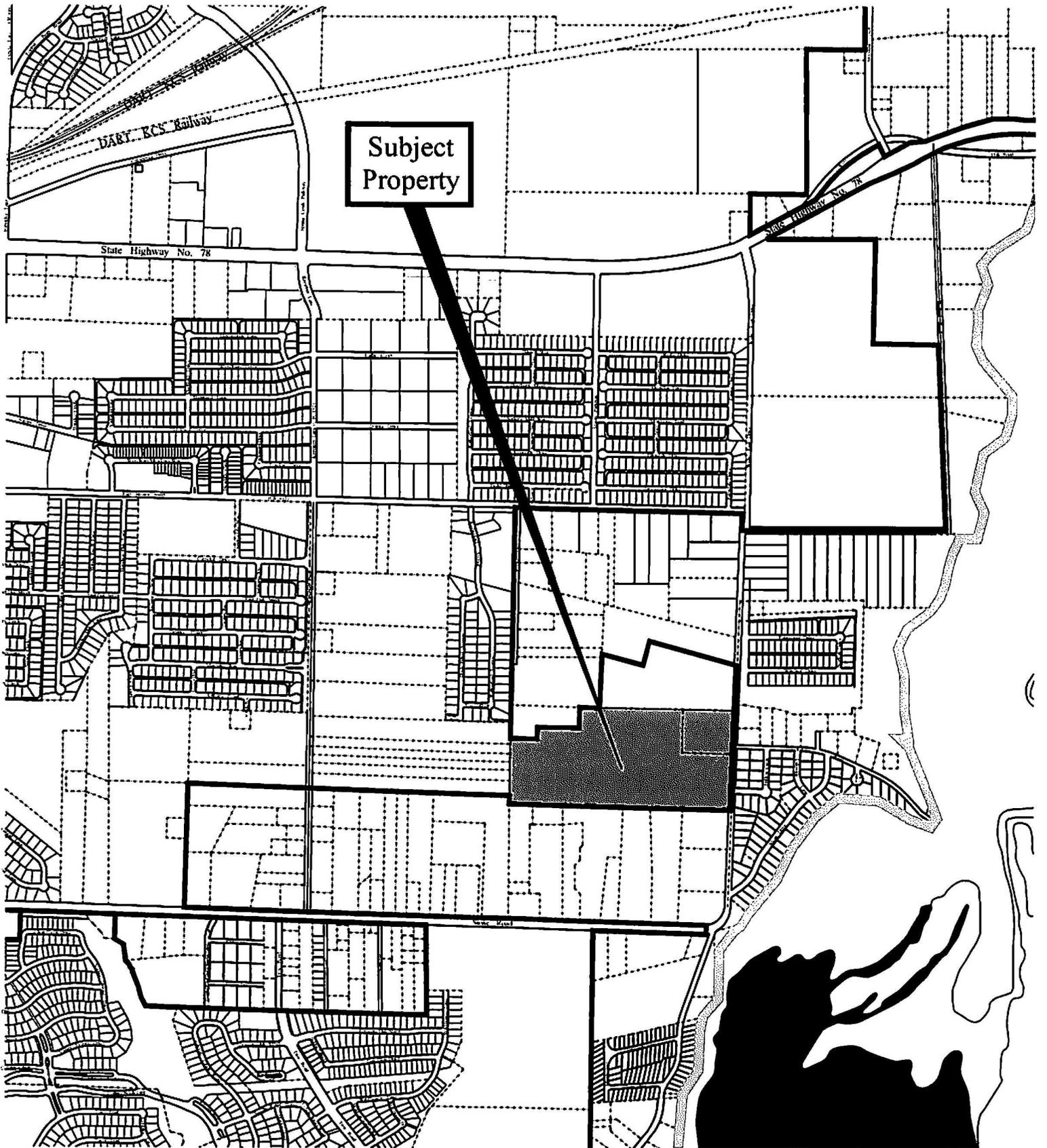
Maintenance of the park area will be the responsibility of the HOA. All lots that back onto park land shall provide decorative black metal fencing of uniform design, to be installed by the homebuilder.

The Parks Board considered the dedication and park improvements per the attached Exhibit "P" and recommended approval on July 13, 2015.

Notification/Responses: Thirteen (13) notifications were mailed; with three (3) written responses returned favoring the request and one (1) response opposing the request at the time of posting.

### Approved By

	<i>Initial</i>	<i>Date</i>
<b>Department Director</b>	RO	7-16-2015



# LOCATION MAP ZONING CASE #2015-08

## EXHIBIT 'A'

### PROPERTY DESCRIPTION

Being a tract of land situated in the Francisco De La Pina Survey, Abstract No. 688, in the City of Wylie, Collin County, Texas, being that same tract of land conveyed to Crosscountry Villas, L.L.C., by deed recorded in Instrument No. 20110812000853240, of the Deed Records of Collin County, Texas, together with a tract of land conveyed to John Willis Kreymer by deed recorded in Volume 1685, Page 938 of the Deed Records of Collin County, Texas, together with that same tract of land conveyed to Dot Marie Kreymer by deed recorded in Volume 5066, Page 2963 of the Deed Records of Collin County, Texas and also together with a tract of land conveyed to Crosscountry Villas, LLC by deed recorded in Instrument No. 20131120001562630 of Deed Records of Collin County, Texas and being all together more particularly described by metes and bounds as follows:

Beginning at a point for corner in the approximate centerline of E. Stone Road, said point being the Northeast corner of a tract of land conveyed to Wesley G. Jones by deed recorded in File No. 96-0017643 of the Deed Records of Collin County, Texas, same being the Southeast corner of said Crosscountry Villas, LLC tract recorded in Instrument No. 20131120001562630, and being the Southeast corner of herein described tract;

Thence South 89 Degrees 52 Minutes 06 Seconds West, along the North line of said Jones tract, a distance of 723.31 feet to a 3/8 inch iron rod found for corner, said point being the Northwest corner of a tract of land conveyed to Frances Morgan by deed recorded in Instrument No. 20080131000122560 of the Deed Records of Collin County, Texas, same being the Northeast corner of a tract of land conveyed to Carrol Calvin Holley and Beverly Kay Holley by deed recorded In Volume 2387, Page 828 of the Deed Records of Collin County, Texas;

Thence North 89 Degrees 18 Minutes 02 Seconds West, along the North line of said Holley tract, passing then the Northeast corner of a tract of land conveyed to Kathleen M. Kerin by deed recorded in Volume 4770, Page 1994 of the Deed Records of Collin County, Texas, and continuing along the North line of said Kerin tract, for a total distance of 804.71 feet to a 1/2 inch iron rod set for corner with a yellow cap stamped "TXHS", from which a 1/2 inch iron rod bears S 89 Degrees 56 Minutes 44 Seconds W, a distance of 17.76 feet;

Thence South 89 Degrees 52 minutes 38 Seconds West, continuing along the North line of said Kerin tract, passing the Northeast corner of a tract of land conveyed to William J. Hubeny and Phyllis J. Hubeny by deed recorded in File No. 91-0067883 of Deed Records of Collin County, Texas, and continuing along the North line of said Hubeny tract, passing then the Northeast corner of a tract of land conveyed to Chad Meredith Packard and Bethany Lynn Packard by deed recorded in File No. 93-0093792 of the Deed Records of Collin County, Texas, and continuing along the North line of

said Packard tract, for a total distance of 679.48 feet to a ½ inch iron rod found for corner (Controlling Monument) in the East line of a tract of land conveyed to John Frederick Reschke II, by deed recorded in Instrument No. 2010052100511250 of the Deed Records of Collin County, Texas, said point being the Northwest corner of said Packard tract, same being the Southwest corner of herein described tract;

Thence North 00 Degrees 21 Minutes 29 Seconds West, along the East line of said Reschke tract, passing along the East line of a tract of land conveyed to Guy L. Cates and wife, Elaine Cates by deed recorded in Instrument No. 20070627000881390 of the Deed Records of Collin County, Texas, a tract of land conveyed to Abby Gay Sandoval by deed recorded in Volume 5780, Page 715 of the Deeds Records of Collin County, Texas, and a tract of land conveyed to John A. Yates and wife, Diana Kay Yates by deed recorded in File 96-0070802 of the deed records of the Collin County, Texas, for a total distance of 648.73 feet to a ½ inch iron rod set for corner with a yellow cap stamped "TXHS" in the East line of said Yates tract, said point being the Southwest corner of a tract of land conveyed to Todd Brammer and Kim Brammer by deed recorded in Instrument No. 20080130000115020 of the Deed Records of Collin County, Texas, same being the Northwest corner of herein described tract;

Thence South 89 Degrees 43 Minutes 13 Seconds East, along the South line of said Brammer tract, a distance of 263.10 feet to a ½ inch iron rod set for corner with a yellow cap stamped "TXHS", said point being the Southeast corner of said Brammer tract;

Thence North 00 Degrees 16 Minutes 47 Seconds East, along the East line of said Brammer tract, a distance of 118.84 feet to a ½ inch iron rod set for corner with a yellow cap stamped "TXHS", said point being the Southwest corner of a tract of land conveyed to Todd Brammer and Kim Brammer by deed recorded in Instrument No. 20070608000779090 of the Deed Records of Collin County, Texas;

Thence South 89 Degrees 43 Minutes 13 Seconds East, along the East line of said Brammer tract, recorded in Instrument No. 20070608000779090, a distance of 414.86 feet to a ½ inch iron rod set for corner with a yellow cap stamped "TXHS", said point being the Southeast corner of said Brammer tract recorded in Instrument No. 20070608000779090;

Thence North 00 Degrees 16 Minutes 47 Seconds East, along the East line of said Brammer tract recorded in Instrument No. 20070608000779090, a distance of 210.47 feet to a ½ inch iron rod set for corner with a yellow cap stamped "TXHS" in the South line of a tract of land conveyed to Garner Koch by deed recorded in Volume 5733, Page 2432 of the Deed Records of Collin County, Texas, said point being the Northeast corner of said Brammer tract recorded in Instrument No. 20070608000779090, same being the most northerly Northwest corner of herein described tract;

Thence South 89 Degrees 45 Minutes 00 Seconds East, along the South line of said Koch tract, passing the Southeast corner of said Koch tract, same being the Southwest corner of a tract of land conveyed to Robert Kreymer by deed recorded in Volume 2967,

Page 275 of the Deed Records of Collin County, Texas, at a distance of 195.26 feet and continuing along the South line of said Kreymer tract, for a total distance of 1534.30 feet to a 3/8 inch iron rod found for corner in the approximate centerline of said E. Stone Road, said point being the Southeast corner of said Robert Kreymer tract, same being the Northeast corner of said John Willis Kreymer tract and being the Northeast corner of herein described tract;

Thence North 00 Degrees 11 Minutes 37 Seconds East, along the East line of said Koch tract, a distance of 534.31 feet to a 1/2 inch iron rod found for corner, said point being the Southwest corner of a tract of land conveyed to Farmers Electric Cooperative Company, Inc. by deed recorded in File No. 97-0011472 of the Deed Records of Collin County, Texas, same being the Northwest corner of the herein described tract;

Thence South 76 Degrees 12 Minutes 35 Seconds East, along the South line of said Farmers Electric Cooperative Company, Inc. tract, a distance of 418.93 feet to a 1/2 inch iron rod found for corner;

Thence North 13 Degrees 57 Minutes 23 Seconds East, continuing along the South line of said Farmers Electric Cooperative Company, Inc. tract, a distance of 235.03 feet to a 1/2 inch iron rod found for corner;

Thence South 76 Degrees 12 Minutes 14 Seconds East, continuing along the South line of said Farmers Electric Cooperative Company, Inc. tract, a distance of 900.76 feet to a point for corner in the approximate centerline of said E. Stone Road, said point being the Southeast corner of said Farmers Electric Cooperative Company, Inc. tract, same being the Northeast corner of herein described tract;

Thence South 00 Degrees 08 Minutes 17 Seconds West, along the approximate centerline of said E. Stone Road, a distance of 109.96 feet to a point for corner, said point being the most easterly Southeast corner of herein described tract;

Thence North 89 Degrees 45 Minutes 00 Seconds West, along the approximate centerline of said E. Stone Road, a distance of 476.85 feet to an interior point for corner;

Thence South 02 Degrees 35 Minutes 18 Seconds East, a distance of 128.13 feet to an interior point for corner;

Thence North 89 Degrees 44 Minutes 58 Seconds East, a distance of 355.21 feet to an interior point for corner;

Thence South 00 Degrees 11 Minutes 37 Seconds West, a distance of 215.65 feet to a point for corner in the North line of said Cross Country Villas, LLC tract;

Thence South 89 Degrees 45 Minutes 00 Seconds East, along the South line of said Kreymer tract, a distance of 826.17 feet to a 3/8 inch iron rod found for corner in the approximate centerline of said E. Stone Road, said point being the Southeast corner of said Robert Kreymer tract, same being the Northeast corner of said John Willis Kreymer tract;

Thence South 00 Degrees 08 Minutes 17 Seconds West, along the approximate centerline of said E. Stone Road, along the East line of said John Willis Kreymer tract, along the East line of said Crosscountry Villas, LLC tract and along the East line of said Dot Marie Kreymer tract, for a total distance of 974.73 feet to the POINT OF BEGINNING and containing 1,984,922 square feet or 45.5675 acres of land.

**EXHIBIT "B"**  
**CONDITIONS FOR PLANNED DEVELOPMENT**  
**ZONING CASE No. 2015-08**

**I. GENERAL CONDITIONS:**

1. This planned Development District shall not affect any regulations within the Code of Ordinances, except as specifically provided herein.
2. All regulations of the Single Family 10/24 set forth in Article 3, Section 3.2 of the Comprehensive Zoning Ordinance (adopted as of May 2011) are hereby replaced with the following:

<b>Figure 3-4 - Planned Development – Single Family (PD – SF)</b>	
<b>Lot Size (<i>Minimum</i>)</b>	
Lot Area (sq. ft.)	7,200
Lot Width (feet)	60
Lot width of corner Lots (feet)	65
Lot Depth (feet)	100
Lot Depth of Double Front Lots (feet)	110
<b>Dwelling Regulations</b> (Minimum Square Footage)	
25% of the lots	1,800
35% of the lots	2,000
40% of the lots	2,200
Design Standards Level of Achievement	See Section III Design Conditions
<b>Yard Requirements – Main Structures</b>	
Front Yard (feet)	20
Side Yard (feet)	5
Side Yard of Corner Lots (feet)	10
Side Yard of Corner Lots (feet) on key lots	20
Rear Yard (feet)	15
Rear Yard Double Front Lots (feet)	20
Lot Coverage	50%
<b>Height of Structures</b>	
Main Structure (feet)	40
Accessory Structure (feet)	14

## **II. SPECIAL CONDITIONS:**

1. Maximum number of residential lots not to exceed 95 lots.
2. Key lots are defined as a corner lot which is backing up to an abutting side yard.
3. Three-tab roofing shall not be permitted.
4. No alleys shall be required within the Planned Development.
5. Developer shall install a screening wall where lots back or side to Alanis or Ballard with a 4 ft side walk.
6. Lots which back onto park land shall provide a decorative iron fence of uniform design to be installed by the homebuilder, as approved by the Planning Department.
7. The Development Plan attached as Exhibit "C" shall serve as the Preliminary Plat.
8. Existing trees greater than 6 inch caliper within the flood plain shall be protected in accordance with City's Tree Preservation Plan.
9. Open space, drainage & floodway easement, and public hike & bike trail shall be dedicated to the City of Wylie in accordance with City's Subdivision Regulations.

### **10. Maintenance of the Park Area**

Maintenance of the park area will be the responsibility of the homeowners' association (HOA).

- A. Developer will be the contact entity with the City for all concerns regarding maintenance of park and open space until 100% of HOA control is turned over to the homeowners.
- B. HOA maintenance and responsibilities of amenities include:
  - a. Clean up and litter removal.
  - b. Landscaping installation, care, and maintenance.
  - c. Trimming, clearing, and removal of unwanted vegetation as determined by the City Park Division.
  - d. Maintain irrigation system, pay for the water used in the system and test all backflow devices annually as per City requirements.
  - e. Maintain benches, tables, concrete trail, and any other installed improvements, per Exhibit "P". Coordinate with the City Park Department prior to the replacement or removal of any improvement for consistency with City Park standards.
- C. City responsibilities of amenities include:
  - a. Perform playground safety inspections by qualified personnel.

11. All Park Amenities as described in **Exhibit "P"** and as approved by the City Parks Department, shall be installed prior to the issuance of a Certificate of Occupancy.

## **IV. DESIGN CONDITIONS:**

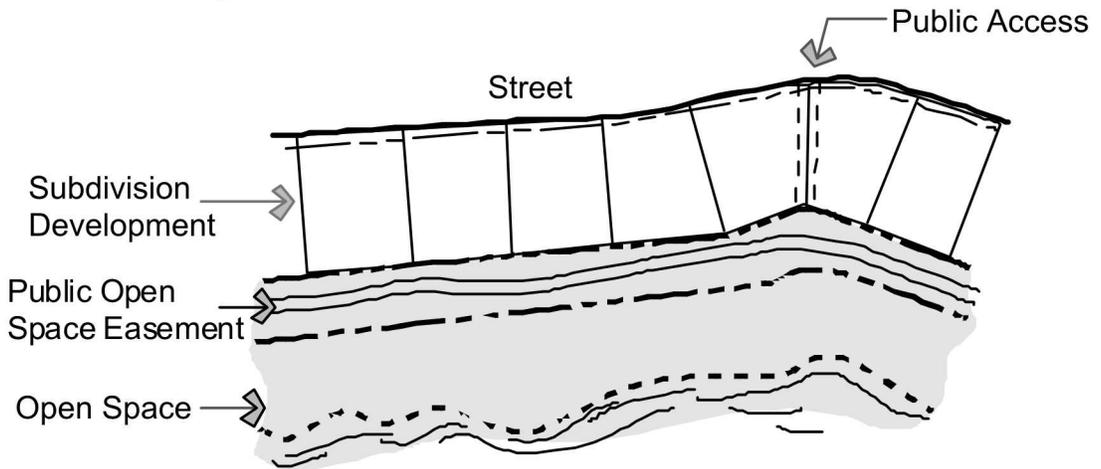
**A. Land Design Standards – New Residential Requirements**

Desired Land Design requirements are achieved by projects in accordance with Exhibit “P” and the following criteria:

**1. Provision of Public Pathways - Public Open Space**

**a. Base Standard**

- (1) Trail shall be constructed to the City’s standards. Open space parkland shall be in accordance with **Exhibit “P”** as adopted by this ordinance.
  - (a) 8’ Hike & Bike Trail, with 6’ in front of dwellings, achieving link in city trail system.
  - (b) Additional improvements shall be done to Stone Ranch Phase 1 open space and will be coordinated by the Wylie Parks Department.
  - (c) Distinctive striping and buttons or similar approved by city engineer shall be installed at trail crossings.
- (2) The public pathway system easement(s) shall be connected along existing or planned utility rights-of-way and/or public property lines to any existing or planned public trail system on abutting land. Locate the public open space easement to provide for future connections to be made by others across intervening property to any existing or planned public trail system on land that does not abut the development.



**b. Desirable Design Attributes**

Single-loaded Street along open space and access per **Exhibit “P”**.

**2. Provision of Public Pathway – Perimeter Walkways and Landscape**

**a. Base Standard**

- (1) Per **Exhibit “P”** and coordinate improvements with the City of Wylie.

(2) Landscaping and Tree Preservation shall be in accordance with **Exhibit “C”**.

The following trees and shrubs are recommended for landscaping and screening purposes and shall be of a species common or adaptable to this area of Texas:

1. Large Trees:
  - Pecan Red Oak
  - Burr Oak Water Oak
  - Southern Magnolias Live Oak
  - Bald Cypress
2. Small Trees:
  - Yaupon Hollies Crape Myrtle
  - Wax Myrtle Cherry Laurel
  - Red Bud Japanese Black Pine
  - Cedar Elm
3. Evergreen Shrubs:
  - Red Tip Photinia Burford Holly
  - Nellie R. Stevens Chinese Holly
  - Yaupon Holly Clearra
  - Nandinnia Dwarf Crape Myrtle
  - Japanese Ligustrum Waxleaf Ligustrum
  - Abelia Junipers
  - Barberry Asian Jasmine
  - Honeysuckle English Ivy
  - Boston Ivy Liriope
  - Monkey Grass Virginia Creeper
  - Vinca Mondon Grass
  - Ophia Pogon Elaeagnus
  - Purple Sage Pistachio

The following trees are discouraged for landscaping and screening purposes:

- Silver Maple Hackberry
- Green Ash Arizona Ash
- Mulberry Cottonwood
- Mimosa Syberian Elm
- American Elm Willow
- Sycamore Bradford Pear

**b. Desirable Design Attributes**

None

**3. Lighting and Furnishings Along Open Space, Easements and Trails**

**a. Base Standard**

- (1) Benches with backs installed per **Exhibit “P”**
- (2) Provide distinctive striping and buttons or similar cross-walks approved by city engineer at street connectors.
- (3) 8’ wide distinctive striping and buttons or similar approved by city engineer at main entry; 6 ft wide at interior street connectors per **Exhibit “P”**

**b. Desirable Design Attributes**

- (1) Additional improvements shall be done to Stone Ranch Phase 1 open space and will be coordinated by the Wylie Parks Department., per Exhibit “P”.
- (2) 8’ wide distinctive striping and buttons or similar approved by city engineer crossing at main entry;

**B. Street and Sidewalk Standards – New Residential Requirements**

Desired street and sidewalk requirements are achieved in accordance with the following criteria:

**1. Street Treatments – Entry Features and Signage at Entries**

**a. Base Standard**

Architectural features on stone monument (no brick) with landscaping and incorporated into open space area and illuminated by means other than street lights.

**b. Desirable Design Attributes**

Decorative iron accent panels or 2 or more different type/color of stone (can be synthetic or cultured).



**2. Street Treatments – Street Name Signs**

**a. Base Standard**

Block numbers shall be incorporated with street lighting that is coordinated throughout the subdivision.

**b. Desirable Design Attributes:**

None

**3. Street Treatments – Pedestrian Crosswalks**

**a. Base Standard**

All crosswalks within a Residential development are to be 8 feet wide at trail crossings with distinctive striping and buttons or similar approved by city engineer and must connect to a pedestrian sidewalk system with pedestrian ramps complying with the American with Disabilities Act, to provide a clear, continuous pedestrian and circulation system throughout a subdivision.

**b. Desirable Design Attributes:**

Provide 8 ft. wide, connected system of distinctive striping and buttons or similar approved by city engineer at Trail Crossing at Main Entry.

**4. Pedestrian Sidewalks - Sidewalk Locations**

**a. Base Standard**

4 feet wide concrete pedestrian sidewalks shall be located on both sides of the street, in the right-of-way of every internal street.

**b. Desirable Design Attributes:**

None

**5. Mail Boxes**

**a. Base Standard**

Mail boxes shall provide number plaque and brick to match the resident.

**b. Desirable Design Attributes:**

Same stone and brick as house exterior trim to mail boxes.

**6. Pedestrian Sidewalks - Sidewalk Lighting**

**a. Base Standard**

Decorative street lighting shall be provided along residential streets throughout all Residential Developments, providing low illumination with decorative poles with spacing ranging from 250 feet to 350 feet between lights placed on alternating sides of the street. A Street Lighting Plan must be submitted to the City Engineer for approval. The City Engineer is authorized to alter the distance requirement if needed in an effort to achieve the best lighting arrangement possible.



**b. Desirable Design Attributes:**

None

**7. Perimeter Alleys**

**a. Base Standard**

No Alleyways are required for the subdivision.

**b. Desirable Design Attributes:**

None

**C. Architectural Standards – New Residential Requirements**

**1. Building Bulk and Articulation**

**a. Base Standard**

In order to avoid large blank facades, variations in the elevation of residential facades facing a public street shall be provided in both the vertical and horizontal dimensions. At least 20 percent of the façade shall be offset a minimum of 1 foot either protruding from or recessed back from the remainder of the façade.

**b. Desirable Design Attributes:**

None

**2. House Numbers**

**a. Base Standard**

All single family residential units shall have lighted front stone wall plaque with resident address beside the main entry of the dwelling unit.

**b. Desirable Design Attributes:**

None

**3. Exterior Façade Material**

**a. Base Standard**

All single family residential units shall have a minimum of eighty (80) percent of the exterior facade composed of kiln-fired clay brick or masonry stucco with the balance being window boxes, gables, architectural shingle and etc., but not 20% siding, excluding windows, doors and other openings. Glazing shall not exceed twenty-five (25) percent of the front elevation of the residence. Dormers, second story walls or other elements supported by the roof structure may be composite masonry materials if approved by the Building Official as having the same durability as masonry or stone and when offset at least six (6) inches from the first floor exterior wall. Wood, vinyl siding and EIFS materials shall not be used for exterior walls.

**b. Desirable Design Attributes:**

None

**4. Exterior Facades – Porch**

**a. Base Standard**

Each single family residential unit shall have a combined total covered front, side or rear entry of a minimum of 120 total square feet of floor area.



**b. Desirable Design Attributes:**

Two or more sides of covered porches, or pitched cover incorporated into roof lines of house

**5. Exterior Facades - Chimneys**

**a. Base Standard**

Chimney flues for fireplace chimneys are to be within a chimney enclosed with masonry matching exterior walls of the residential unit and capped.

**b. Desirable Design Attributes:**

Fireplace chimneys shall incorporate 40 percent stone, matching the accent exterior façade materials of the house for houses with Chimneys.

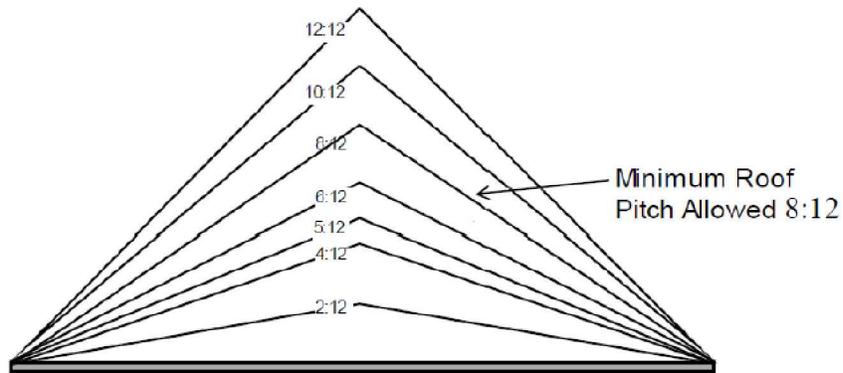
**6. Roofs and Roofing - Roof Pitch**

**a. Base Standard**

All single family residential units shall have a minimum roof pitch of 8:12, with articulation, dormers or a combination of hip and gable roofing.

**b. Desirable Design Attributes:**

None



**7. Roofs and Roofing - Roofing Materials**

**a. Base Standard**

All single family residential units shall have architectural-grade overlap shingles, tile or standing seam metal. Wood shingles are not permitted. Plumbing vents, attic vents, and other rooftop accessories are to be painted to match the roof shingle color.

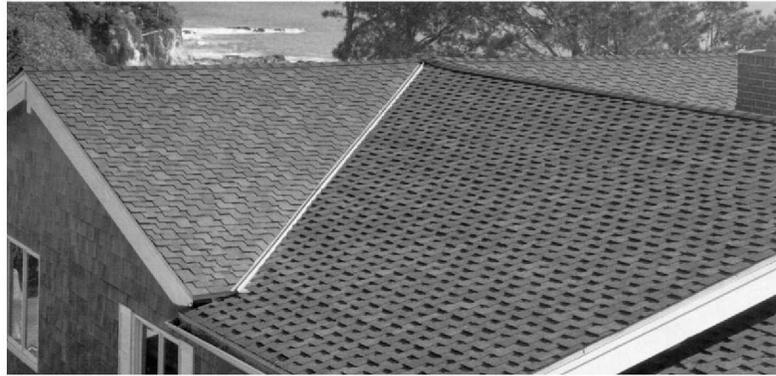
**b. Desirable Design Attributes:**

None

**8. Roofs and Roofing - Roof Eaves**

**a. Base Standard**

No wood fascia or soffits are permitted.



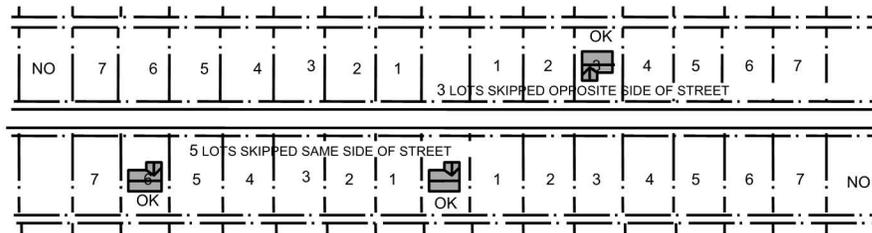
**b. Desirable Design Attributes:**

None

**9. Repetition of Residential Unit Designs – Repetition of Floor Plan and Elevation**

**a. Base Standard**

A minimum of five (5) platted residential lots must be skipped on the same side and three (3) lots must be skipped on the opposite side of a street before rebuilding the same single family residential unit with an identical (or nearly identical) street elevation design. The same floor plan shall not be repeated on neighboring, side by side lots or directly across the street.



Identical or nearly identical floor plan means that the layout, size and function of the rooms are essentially the same. Identical or nearly identical street elevation design means little or no variation in the articulation of the facade, height or width of facade, placement of the primary entrances, porches, number and placement of windows, and other major architectural feature. It does not mean similar colors, materials, or small details.

**b. Desirable Design Attributes:**

None

**10. Garage Entry**

**a. Base Standard**

Garage doors can be located on the primary street elevation of a single family residential unit with an upgraded insulated door with carriage hardware. The primary street would be the addressed street front. Garages may face the street on a corner lot side yard. Each garage shall be a minimum of 2 car garage.



**b. Desirable Design Attributes:**

None

**11. Dwelling Size**

**a. Base Standard**

The minimum square feet of floor space shall be (25%) of the houses 1,800 s.f. , (35%) of the houses 2,000 s.f. , (40%) of the houses 2,200 s.f. , measured within the outside dimensions of a residential dwelling unit including each floor level, but excluding carports, garages, and breezeways.

**12. Fencing**

**a. Base Standard**

- (1) Front yard fences (if provided) shall be permitted to a height of 4 feet maximum with minimum 50 percent transparency constructed of wood or wrought iron.
- (2) Side and rear yard fences (if provided) shall be permitted to a height of 8 feet maximum and constructed of wood with metal posts and rails to the inside.
- (3) Pressure treated wood is prohibited.

- (4) Fences shall be constructed of decorative iron next to public open space, and shall be minimum 4 ft in height.

**b. Desirable Design Attributes**

None

**13. Landscaping**

**a. Base Standard**

- (1) Each residential dwelling shall have sodded front, side, and rear yard with a minimum of 2 trees and 5 shrubs in front yard.
- (2) All landscaped areas must be kept in a healthy and growing condition. Any plant materials that die during a time of year where it is not feasible to replant shall be replaced as soon as possible.

**b. Desirable Design Attributes**

Each residential dwelling unit shall have an automated, subsurface irrigation system.

**14. Outdoor Lighting**

**a. Base Standard**

All residential dwelling units shall have an illuminated standard porch light at the front entry and drive/garage.

**b. Desirable Design Attributes**

Front façade and drive/garage shall be illuminated by coach lights on each side of the garage and front yard activity area illuminated and wired to the interior of the house.

**15. Conservation/Sustainability**

**a. Base Standard**

Each residential dwelling unit must comply with the Energy component of the Building Code.

**b. Desirable Design Attributes**

None



**III. DESIGN REGULATION CHART:**

**A. Land Design Requirements**

<b>A. Land Design Requirements (In Accordance with Exhibit "P")</b>		<b>b. DESIRABLE STANDARD ( THE FOLLOWING DESIRABLES WILL BE ACHIEVED THROUGHOUT THE SUBDIVISION)</b>
<b>ELEMENT</b>	<b>a. BASE STANDARD (ALL DEVELOPMENT MUST COMPLY FULLY WITH ALL LISTED BELOW)</b>	
Public Open Space	<ul style="list-style-type: none"> <li>a. Trail shall be constructed to the City's standards.</li> <li>b. 6 &amp; 8 ft. hike &amp; bike trail and open space improvements, per Exhibit "P".</li> <li>c. Provide benches per Exhibit "P".</li> <li>d. Trees along Stone Road.</li> </ul>	
Perimeter Walkways and Landscape	Coordinate with City of Wylie	
Lighting and Furnishings along open space easements and trails	<ul style="list-style-type: none"> <li>a. 4 Benches with backs per Exhibit "P".</li> <li>b. Decorative paving and cross-walks at street connections</li> <li>c. 7 ft at interior street connectors.</li> </ul>	<ul style="list-style-type: none"> <li>a. 3 Benches, 4 Picnic Tables, 1 Pavilion Shelter, 3 Trash Cans and 3 Dog Stations along Trail, per Exhibit "P".</li> <li>b. 8 ft wide at main entry</li> </ul>

## B. Street and Sidewalk Requirements

<b>B. Street and Sidewalk Requirements (For all Residential Districts)</b>		
<b>ELEMENT</b>	<b>BASE STANDARD (ALL DEVELOPMENT MUST COMPLY FULLY WITH ALL LISTED BELOW)</b>	
	<b>b. DESIRABLE STANDARD (THE FOLLOWING DESIRABLES WILL BE ACHIEVED THROUGHOUT THE SUBDIVISION)</b>	
Entry Features and Signage at Entries	Architectural features on stone and brick monument with landscaping and incorporated into open space area and illuminated by means other than street lights.	Wrought iron accent panels, or 2 or more different type/color of stone (can be synthetic or cultured).
Street Name Signs	Including block numbers, incorporated with street lighting coordinated throughout.	
Pedestrian Crosswalks	Connected system of decorative pavers at Trail Crossings per Exhibit "P".	8 ft. wide, connected system of stamped colored paving at Trail Crossing at Main Entry.
Sidewalk Locations	4 ft concrete, both sides of street.	
Mail Boxes	Paired at lot line where applicable. Number plaque, brick same as resident.	Black metal ornamental dual box
Sidewalk Lighting	Throughout all Residential Development with spacing ranging from 250' to 350' apart (intersections & mid-block alternating sides).	
Perimeter Alleys	No alleys are required.	
Driveways	Driveways shall be per City of Wylie Standard details and specifications.	Exposed aggregate or salt finish concrete

### C. Architectural Requirements

<b>C. Architectural Requirements (For all Residential Districts)</b>		
<b>ELEMENT</b>	<b>BASE STANDARD (ALL DEVELOPMENT MUST COMPLY FULLY WITH ALL LISTED BELOW)</b>	<b>b. DESIRABLE STANDARD ( THE FOLLOWING DESIRABLES WILL BE ACHIEVED THROUGHOUT THE SUBDIVISION)</b>
Building Bulk and Articulation	Minimum 10% of street façade offset minimum 2 ft.	
House Numbers	Lighted front stone wall plaque beside main entry.	
Exterior Façade Material	80% brick, masonry stucco or stone.	
Covered Entranceway/Rear Patio	Minimum of 20 square feet for front porch on dwellings with front facing garages.	50 square feet or larger in total front entry and covered patio
Chimneys	Chimney enclosed with a stone veneer and capped	
Roof Pitch	All single family residential units shall have a minimum roof pitch of 6:12. Front elevations shall include shall be 8:12 for architectural gables. Dormers or porch areas may be minimum roof pitches of 4:12.	8:12 minimum roof pitch except for dormers and porches
Roof Materials	25 year Architectural-grade overlap shingles, tile or standing seam metal, no wood shingles, Paint rooftop accessories to match	Architectural dimensional shingles having a minimum 30 year warranty
Repetition of floor plan and elevation	5 lots skipped on same side of street before repeating similar floor plan and elevation, 3 lots skipped opposite side of street, and no identical or flipped floor plans side by side or directly across street	

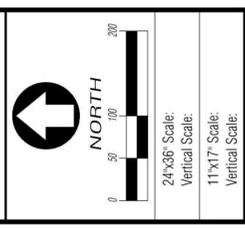
<b>c. Architectural Requirements Cont.</b> (For all Residential Districts)		
<b>ELEMENT</b>	<b>BASE STANDARD</b> <b>(ALL DEVELOPMENT MUST COMPLY FULLY WITH ALL LISTED BELOW)</b>	<b>b. DESIRABLE STANDARD</b> <b>( THE FOLLOWING DESIRABLES WILL BE ACHIEVED THROUGHOUT THE SUBDIVISION)</b>
Garage entry	<p>a. Garage doors can be located on primary street elevation of a single family residential unit with wood grain look insulated door with carriage hardware. Garage shall be a minimum of 400 square feet.</p> <p>Minimum dwelling size exclusive of carports, garages and breezeways:            (10%) of the houses 1,750 s.f., (30%) of the houses 1,850 s.f., (30%) of the houses 2,000 s.f., (30%) 2,400 s.f.</p>	Garage door openers
Dwelling Size	<p>a. Front: 4 ft maximum height, 50% transparent, wood or wrought iron.</p> <p>b. Side/Rear: 8 ft maximum height, wood w/ metal posts &amp; rails to inside.</p> <p>c. (No pressure treated wood).</p> <p>d. 6 foot Wrought Iron fence adjacent to the open space.</p>	All wood fencing shall be stained a uniform cedar color as determined by the H.O.A.
Landscaping	Sod front, rear, and side yards and minimum 2 trees and 5 shrubs in front yard.	Automated, subsurface irrigation system
Outdoor Lighting	Front entry and drive/garage illuminated by standard porch light	Garage illuminated by down-light (tree or house mounted) or up-light (house mounted).
Conservation/Sustainability	Complies with Energy component of Building Code	

dietz engineering  
F-5049  
CIVIL ENGINEERING • SURVEYING  
PHONE: 972.889.9977  
FAX: 972.889.9993  
205 S. Alma Drive  
Allen, Texas 75013

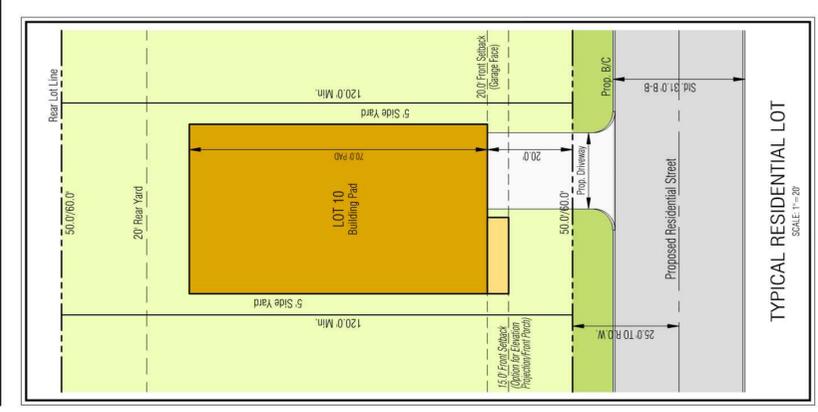
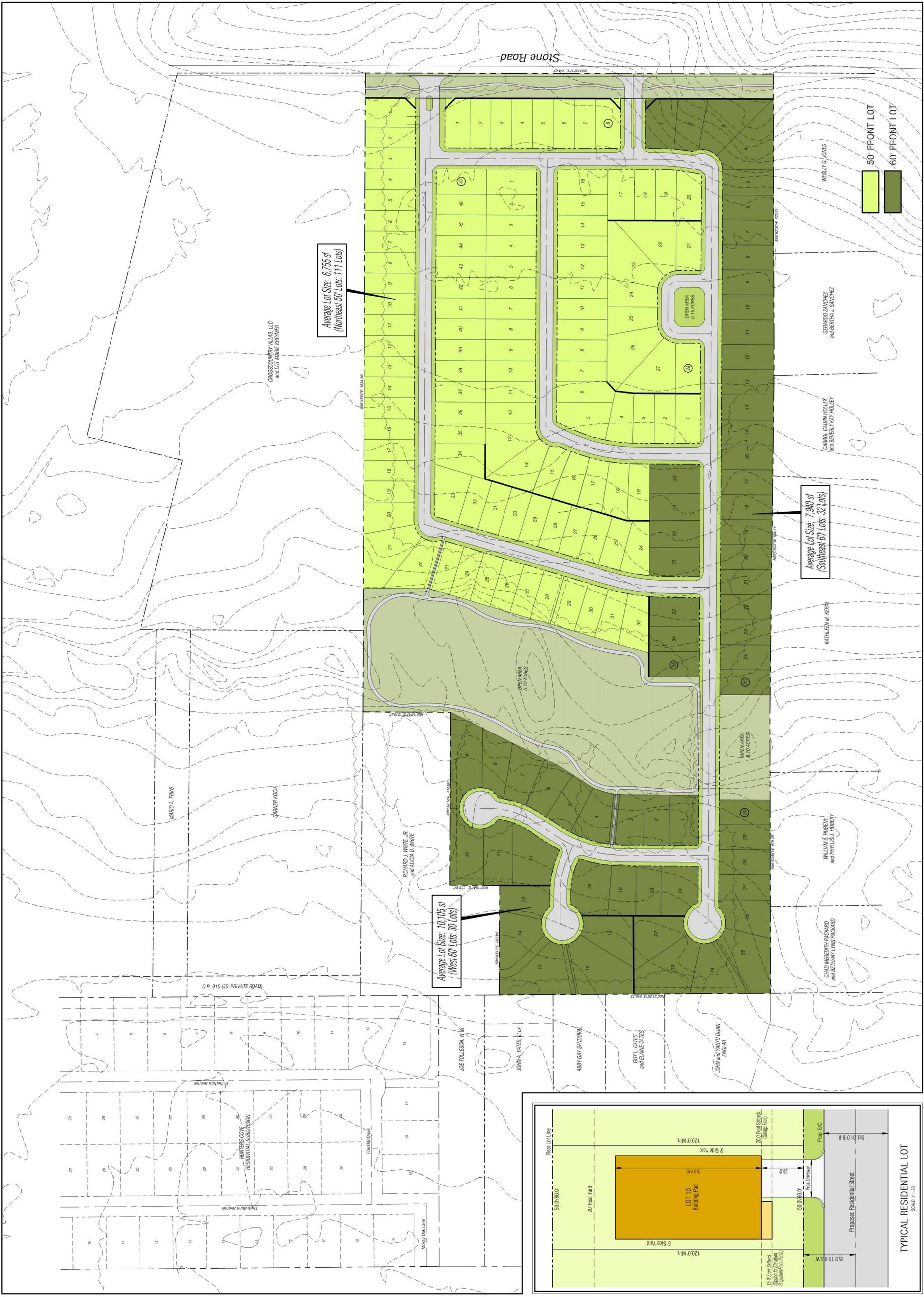


DATE SIGNED:  
BENCHMARKS:  
BM # 1:  
ELEVATION: X  
BM # 2:  
ELEVATION: X

Concept Plan - 45.57 Acre Residential Subdivision  
Francisco La Pina Survey, Abst. No. 688  
Collin County, City of Wylie, Texas

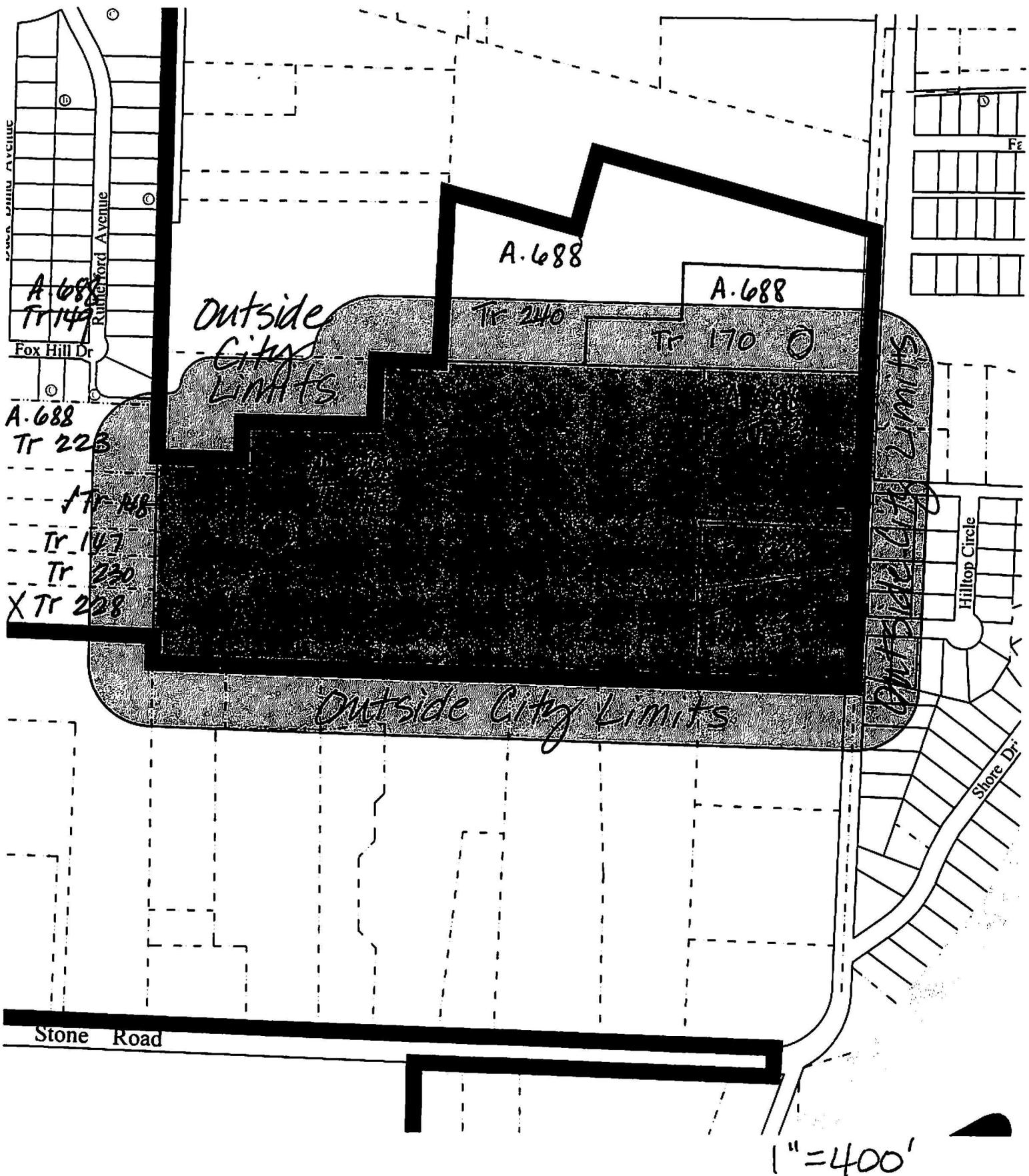


Vertical Scale: 24"x36"  
Vertical Scale: 11"x17"  
Project No.: E-AD-001  
Issue Date: June 10, 2015  
Sheet Title: Concept Plan  
Sheet No.: C1.1





**Exhibit P**  
**Kreymer Park**  
 Wylie, Texas



# NOTIFICATION MAP ZONING CASE #2015-08

# NOTIFICATION REPORT

APPLICANT: Fred Phillips with Amalgamated Properties, LL  
5055 Keller Springs #450 Addison, Texas 75001  
 APPLICATION FILE #2015-08

#	BLK/ABST	LOT/TRACT	TAX I.D. #	PROPERTY OWNER NAME	ADDRESS
1				Applicant - Fred Phillips Amalgamated Properties, LLC	5055 Keller Springs #450 Addison, Texas 75001
2	Abst 688	Tract 3	R-6688-005-0030-1	Cross Country Villas, LLC	2605 E. Stone Road Wylie, Texas 75098
3	Abst 688	Tract 147	R-6688-005-1470-1	John Yates	3209 Ranch Drive Garland, Texas 75041
4	Abst 688	Tract 148	R-6688-005-1480-1	John Yates	3209 Ranch Drive Garland, Texas 75041
5	Abst 688	Tract 149	R-6688-005-1490-1	DR Horton - Texas Ltd.	4306 Miller Road #A Rowlett, Texas 75088
6	Abst 688	Tract 170	R-6688-005-1700-1	Robert Kreymer	2605 E. Stone Road Wylie, Texas 75098
7	Abst 688	Tract 175	R-6688-005-1750-1	Cross Country Villas, LLC	2605 E. Stone Road Wylie, Texas 75098
8	Abst 688	Tract 223	R-6688-005-2230-1	Joe Tolleson	1036 S. Kreymer Lane Wylie, Texas 75098
9	Abst 688	Tract 226	R-6688-005-2260-1	Dot Marie Kreymer	2499 E. Stone Road Wylie, Texas 75098
10	Abst 688	Tract 228	R-6688-005-2280-1	Guy Cates	1030 S. Kreymer Lane Wylie, Texas 75098
11	Abst 688	Tract 230	R-6688-005-2300-1	Abby Sandoval	1032 S. Kreymer Lane Wylie, Texas 75098
12	Abst 688	Tract 233	R-6688-005-2330-1	Cross Country Villas, LLC	2605 E. Stone Road Wylie, Texas 75098
13	Abst 688	Tract 240	R-6688-005-2400-1	Cross Country Villas, LLC	2605 E. Stone Road Wylie, Texas 75098
14					
15					
16					
17					
18					

**PUBLIC COMMENT FORM**

*(Please type or use black ink)*

Department of Planning  
300 Country Club Road  
Building 100  
Wylie, Texas 75098

I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2015-08.

I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2015-08.

Date, Location & Time of  
Planning & Zoning  
Commission meeting:

Tuesday, July 21, 2015, 6:00 pm  
Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of  
City Council meeting:

Tuesday, August 11, 2015, 6:00 pm  
Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name: Robert Kreymmer & Phyllis Kreymmer  
*(please print)*

Address: 2605 E. Stone Rd.  
Wylie, Tex. 75098

Signature: Robert Kreymmer & Phyllis Kreymmer

Date: July 2, 2015

**COMMENTS:**

Will be nice to have a park with walking  
trails next to us.

**PUBLIC COMMENT FORM**

*(Please type or use black ink)*

Department of Planning  
300 Country Club Road  
Building 100  
Wylie, Texas 75098

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Date, Location & Time of  
City Council meeting:

Tuesday, August 11, 2015, 6:00 pm  
Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name: Dot M. Krexmer  
*(please print)*

Address: 2499 E Stone Road  
Wylie, TX 75098

Signature: Dot M. Krexmer

Date: 7-1-2015

**COMMENTS:**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**PUBLIC COMMENT FORM**

*(Please type or use black ink)*

Department of Planning  
300 Country Club Road  
Building 100  
Wylie, Texas 75098



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Date, Location & Time of  
City Council meeting:

Tuesday, August 11, 2015, 6:00 pm  
Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name: Robert B. Kreymer & Phyllis Kreymer  
(please print)

Address: 2605 East Stone Rd  
Wylie Tex 75098

Signature: Robert B. Kreymer Phyllis Kreymer  
Cross Country Villas LLC

Date: 7-2-15

**COMMENTS:**

Would be Great Planned Development !!  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**PUBLIC COMMENT FORM**

*(Please type or use black ink)*

Department of Planning  
300 Country Club Road  
Building 100  
Wylie, Texas 75098

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Date, Location & Time of  
City Council meeting:

Tuesday, August 11, 2015, 6:00 pm  
Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name: Elaine Cates  
*(please print)*

Address: 1030 S. Kreymer Ln.  
Wylie, TX 75098

Signature: Elaine Cates

Date: 7/1/15

**COMMENTS:**

Area roads are not adequate for current  
traffic - Stone Rd + Kreymer Ln